

## PLANNING COMMITTEE

**Wednesday, 20 May 2020**

**2.00 pm**

- Membership: Councillors Naomi Tweddle (Chair), Bob Bushell (Vice-Chair), Biff Bean, Bill Bilton, Alan Briggs, Kathleen Brothwell, Chris Burke, Gary Hewson, Rebecca Longbottom, Councillor Bill Mara and Edmund Strengiel
- Substitute members: Councillors Jackie Kirk and Neil Murray
- Officers attending: Simon Cousins, Democratic Services, Kieron Manning, Louise Simpson and Dave Walker
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The Planning Committee comprises democratically elected members who will be presented with a recommendation from the professional officers for each application on the agenda. After each application has been presented, those interested parties who have registered to speak will then be given 5 minutes to verbally present their views, and, following this, the committee will debate each proposal and make the decision, having considered all relevant information.

Clearly the process of making a decision will inevitably cause some people to feel aggrieved, but it is hoped that all interested parties will feel that their views have been considered as part of the process.

Please ensure that your mobile phones are switched off or set to silent throughout the virtual meeting and please refrain from attempting to speak from the public gallery unless you have formally registered to speak on an application, in which case the Chair will ask you to speak at the relevant time.

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### Virtual Meeting

To join this virtual meeting please use the below link:

<https://zoom.us/j/92557263525>

Alternatively, please join the meeting via telephone by calling **0330 088 5830** using the following ID:

**925 5726 3525**

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# A G E N D A

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<b>SECTION A</b>	<b>Page(s)</b>
1. Confirmation of Minutes - 26 February 2020	<b>5 - 14</b>
2. Work to Trees in City Council Ownership	<b>15 - 22</b>
3. Applications for Development	
(a) House of Fraser, 226 -231 High Street, Lincoln	<b>23 - 72</b>
(b) 128-130 Carholme Road, Lincoln	<b>73 - 96</b>
(c) 7 James Street, Lincoln	<b>97 - 140</b>
(d) Site Of Former St Giles Youth Centre, Swift Gardens, Lincoln	<b>141 - 148</b>
(e) 311 Burton Road, Lincoln	<b>149 - 162</b>
(f) 15 Aldergrove Close, Lincoln	<b>163 - 176</b>

## THE LOCAL GOVERNMENT (ACCESS TO INFORMATION) ACT 1985 (AS AMENDED)

### LIST OF BACKGROUND PAPERS FOR PLANNING, LISTED BUILDING, CONSERVATION AREA AND ADVERTISEMENT APPLICATIONS ON THE AGENDA OF THE PLANNING COMMITTEE

The Background Papers for the Planning, Listed Building, Conservation Area and Advertisement Applications are:

1. The Planning Application File. This is a file with the same reference number as that shown on the Agenda for the Application. Information from the planning application file is available online at <https://development.lincoln.gov.uk/online-applications/>

The application files contain the following documents:

- a. the application forms;
  - b. plans of the proposed development;
  - c. site plans;
  - d. certificate relating to ownership of the site;
  - e. consultation letters and replies to and from statutory consultees and bodies;
  - f. letters and documents from interested parties;
  - g. memoranda of consultation and replies to and from Departments of the Council.
2. Any previous Planning Applications referred to in the Reports on the Agenda for the particular application or in the Planning Application specified above.
  3. Central Lincolnshire Local Plan – Adopted April 2017
  4. National Planning Policy Framework - March 2012
  5. Applications which have Background Papers additional to those specified in 1 to 5 above set out in the following table. These documents may be inspected at the Planning Reception, City Hall, Beaumont Fee, Lincoln.

APPLICATIONS WITH ADDITIONAL BACKGROUND PAPERS (See 5 above.)

Application No.: Additional Background Papers

## **CRITERIA FOR PLANNING COMMITTEE SITE VISITS (AGREED BY DC COMMITTEE ON 21 JUNE 2006 AND APPROVED BY FULL COUNCIL ON 15 AUGUST 2006)**

### **Criteria:**

- Applications which raise issues which are likely to require detailed first hand knowledge of the site and its surroundings to enable a well-informed decision to be taken **and** the presentational material at Committee would not provide the necessary detail or level of information.
- Major proposals which are contrary to Local Plan policies and proposals but which have significant potential benefit such as job creation or retention, environmental enhancement, removal of non-confirming uses, etc.
- Proposals which could significantly affect the city centre or a neighbourhood by reason of economic or environmental impact.
- Proposals which would significantly affect the volume or characteristics of road traffic in the area of a site.
- Significant proposals outside the urban area.
- Proposals which relate to new or novel forms of development.
- Developments which have been undertaken and which, if refused permission, would normally require enforcement action to remedy the breach of planning control.
- Development which could create significant hazards or pollution.

So that the targets for determining planning applications are not adversely affected by the carrying out of site visits by the Committee, the request for a site visit needs to be made as early as possible and site visits should be restricted to those matters where it appears essential.

A proforma is available for all Members. This will need to be completed to request a site visit and will require details of the application reference and the reason for the request for the site visit. It is intended that Members would use the proforma well in advance of the consideration of a planning application at Committee. It should also be used to request further or additional information to be presented to Committee to assist in considering the application.

**Present:** Councillor Naomi Twedde (*in the Chair*),  
Councillor Biff Bean, Councillor Bill Bilton, Councillor Alan Briggs, Councillor Kathleen Brothwell, Councillor Gary Hewson, Councillor Ronald Hills, Councillor Rebecca Longbottom, Councillor Edmund Strengiel and Councillor Pat Vaughan

**Apologies for Absence:** Councillor Bob Bushell and Councillor Chris Burke

**58. Confirmation of Minutes - 29 January 2020**

RESOLVED that the minutes of the meeting held on 29 January 2020 be confirmed.

**59. Declarations of Interest**

Councillor Biff Bean declared a Personal and Pecuniary Interest with regard to the agenda item titled 'Application for Development: 86 Wolsey Way, Lincoln'

Reason: He was known to the agent of the proposed development. He left the room during the discussions on this item and took no part in the vote on the matter to be determined.

Councillor Edmund Strengiel declared a Personal and Pecuniary Interest with regard to the agenda item titled 'Application for Development: 86 Wolsey Way, Lincoln'.

Reason: He was known to the agent of the proposed development. He left the room during the discussions on this item and took no part in the vote on the matter to be determined.

**60. Work to Trees in City Council Ownership**

The Arboricultural Officer:

- a. advised members of the reasons for proposed works to trees in the City Council's ownership and sought consent to progress the works identified, as detailed at Appendix A of his report
- b. highlighted that the list did not represent all the work undertaken to Council trees, it represented all the instances where a tree was either identified for removal, or where a tree enjoyed some element of protection under planning legislation, and thus formal consent was required
- c. explained that Ward Councillors had been notified of the proposed works.

Members requested further clarification on the reference within the schedule of work to trees in Abbey Ward located at the Allenby Road junction with Rookery Lane?

The Arboricultural Officer apologised for quoting the wrong location for the trees, which were actually located close to Wickes Building Supplies on the Allenby Road junction.

Members referred to the reference within the work to trees at Hartsholme Country Park and asked why pollarding works had been requested on a tree with a substantial defect?

The Arboricultural Officer advised that the tree in question was a mature specimen approximately 15 meters tall. The tree had a large open crack 5 metres in length and was starting to degrade. Pollarding would allow the retention of the tree whilst also reducing the risk of catastrophic collapse. It was hopeful the tree may regenerate and be saved.

RESOLVED that tree works set out in the schedules appended to the report be approved.

**61. Application for Development: Land Adjacent to Yarborough Leisure Centre, Riseholme Road, Lincoln**

The Planning Team Leader:

- a) described the application site on land in front of Yarborough Leisure Centre allocated as a site for residential development in the adopted Local Plan, currently owned by the City of Lincoln Council with agreement to sell the land to the applicants
- b) advised that planning permission was sought by Bishop Grosseteste University (BGU) for the erection of a three storey building for new teaching space and erection of five buildings for student accommodation made up of three, four and five storeys, with vehicular access from Riseholme Road and provision of 40 car parking spaces
- c) provided details of the policies pertaining to the application, as follows:
  - National Planning Policy Framework; Chapters
    - 2: Achieving Sustainable Development
    - 4: Decision Making
    - 5: Delivering a Sufficient Supply of Homes
    - 6: Building a Strong Competitive Economy
    - 11: Making Effective Use of Land
    - 12: Achieving Well-Designed Places
  - Central Lincolnshire Local Plan. Policies
    - LP1: A Presumption in Favour of Sustainable Development
    - LP10: Meeting Accommodation Needs
    - LP26: Design and Amenity
    - LP32: Lincoln's Universities and Colleges
    - LP29: Residential Allocations-Lincoln
- d) outlined the responses made to the consultation exercise

e) advised members of the main issues to be considered as part of the application to assess the proposal with regard to:

- National and Local Planning Policy
- Visual Appearance and Impact
- Impact on Adjacent Residents
- Traffic and Pedestrian Safety
- Trees, Open Space and Ecology
- Drainage, Archaeology, Ground Conditions

f) concluded that:

- The application before Planning Committee had been carefully considered and was sensitive to the context of the local area.
- The site had an allocation for housing in your adopted Local Plan and the use proposed, whilst not conventional housing, provided significant residential accommodation.
- The proposal allowed BGU to continue to develop and ensured that there was little impact on their neighbours and the wider City.
- The design of the new buildings, their scale, location and the materials with which they were to be built were appropriate to this part of the City and the use would not cause harm to the amenity of local residents.
- The tree cover and landscaping of the site had gone through detailed consideration and an acceptable solution could be agreed.

g) recommended that planning permission be granted subject to the conditions outlined at page 21 of the officer's report, together with additional conditions requiring the implementation of a surface water drainage scheme and the formation of a new vehicular access.

Mr Jeremy Wright, addressed Planning Committee in objection to the proposed development, covering the following main points:

- He spoke on behalf of Lincoln Civic Trust which objected most strongly to the planning application and recommended refusal.
- He also spoke on behalf of 30 other local residents who were all against the planning application.
- The location of the proposed development on Riseholme Road, represented the former Roman Ermine Street as the entrance to Historic Lincoln with distant views of the cathedral visible between the trees lining both sides of the road.
- Dwellings were set well back from the road with large front gardens, and an integral feel of a green and well planned City.
- The character of the new development next to the road would contrast massively to the existing area causing a huge impact.
- The proposal was maximum density comprising large buildings.
- Policy LP29 referred to the need to protect the dominance and approach views of Lincoln Cathedral.
- The development proposed was made up of standard student flats and a non-descript office block.
- It would create a new landmark for this area of the City out of symmetry with the surrounding houses.

- There was conflict with Policy LP32 which supported the ongoing development of higher and further education establishments in the City, provided that these were well integrated with and contributed positively to their surroundings.
- The development should be built no higher than 2 storey.
- The addition of a five storey building would dwarf the adjacent Castle Academy and local houses.
- The proposed scheme imposed inadequate access for fire appliances.
- The proposed development had been 'shoe horned' into an inappropriate area.
- The University of Lincoln recently opposed a new development having stated previously that there was sufficient provision for student housing.
- The demand for universities could very quickly alter.
- Several accommodation blocks laid empty on the Riseholme campus and this could happen here too.
- The proposal represented an overdevelopment.
- There was an available site on the existing campus four times larger.
- Access, traffic, walking and parking issues.
- This planning application should be refused and reconsidered.

Mr Bob Walder, addressed Planning Committee in support of the proposed development, covering the following main points:

- He spoke as Chair of the BGU University Council.
- BGU was a successful gold rated teaching University.
- Students came from the City and County.
- The University offered post graduate training through to teaching qualifications and apprenticeships.
- Established in 1862 the University had been in situ before most of the houses.
- BGU took the safety and well-being of its students very seriously and offered quality teaching facilities.
- BGU was not seeking hundreds of more student accommodation, it needed to consolidate what it already had and improve the quality of accommodation.
- Students were dispersed throughout the community at the current time with accommodation becoming tired and in need of modernisation.
- This project had been designed following consultation, community involvement and discussion with officers.
- There was an excellent record of management at the University, with high quality campus facilities.
- BGU was a good neighbour to surrounding properties.
- It strived to meet the desires of students moving forward.
- BGU was able to mitigate potential problems on campus arising from time to time although these were rare.
- BGU made a major contribution to the community in general together with the economic structure of the City.
- This is the reason why this planning application was submitted.

Members discussed the content of the report in further detail, raising individual concerns as follows:

- It was rare for the Lincoln Civic Trust to make negative recommendations.



- The proposals represented overdevelopment in scale/massing.
- The rest of the BGU campus was much lower in density. The proposed development would be sited right up to the road and not set back like the houses.
- The Fire Authority required access to the buildings for fire appliances to meet building regulation standard in order to remove their objection, which would be difficult to achieve if mature trees were to line the access route.
- Buildings of five storey in height were above that of any other development in the area and were out of context/design and style.
- There was room for student accommodation here but not in this form.
- There were issues surrounding parking.
- The density of the proposed accommodation caused concern for local people and indeed the students who would live there.
- There were no ecological measures e.g. green roofs.
- There was more opportunity for Photovoltaic cells (p.v cells) on the teaching buildings but nowhere else on site.
- Loss of greenery. The trees may no longer be in situ if access was required for emergency vehicles.

Members offered individual comments in support of the proposed scheme as follows:

- The concerns of local residents regarding local amenity were understood, however, the needs of all people in the City should be considered and purpose built student accommodation was needed.
- The reputation of BGU was respected and the need for purpose built student accommodation well presented this evening.
- If purpose built accommodation wasn't available then students would take up much needed family accommodation in the City.

Members raised questions as follows:

- How would the University ensure that students from the new accommodation would not park their cars in local streets?
- Where would the students reside in their second year at the University?
- In terms of climate emergency/sustainable aspects of the building, why was there a need for so many car parking spaces taking into account its easily accessible location?

The Planning Team Leader offered the following points of clarification:

- Planning conditions could not influence where students chose to park their cars. However, BGU had stated within their contract for the student accommodation that residents should not bring a car and that it would seek to enforce this as it had done in other areas.
- The access distance between the buildings of the new development would be 8-10 metres. The Fire Service needed an access distance of 3 metres. There was potentially plenty of available space for landscaping between the buildings. Normal building regulations would be complied with.
- PV cells would be provided on the teaching buildings and potentially elsewhere.
- There would be no loss to the number of trees onsite. Trees would be removed, however, they would be replanted using extra heavy standard specimen trees.

- Second year students would live out in the community or other purpose built student accommodation.

RESOLVED that planning permission be refused.

Reason:

The application as proposed would be harmful to the character and local distinctiveness of the site and its surroundings by reason of the height and massing of the proposed buildings contrary to the provisions of Policy LP26 of the Central Lincolnshire Local Plan.

**62. Application for Development: 86 Wolsey Way, Lincoln**

*(Councillors Bean and Strenziel left the room for the discussion on this item having declared a personal and pecuniary interest in the matter to be discussed. They took no part in the decision making process).*

The Planning Manager:

- a) advised that planning permission was sought for a two storey front extension to 86 Wolsey Way, Lincoln, a two storey detached dwelling
- b) added that a single storey side extension was also shown on the drawings although it did not require consent as a permitted development
- c) reported that the application was brought before Planning Committee at the request of Councillor Jackie Kirk
- d) provided details of the policies pertaining to the application, as follows:
  - Policy LP26: Design and Amenity
  - National Planning Policy Framework
- e) outlined the responses made to the consultation exercise
- f) referred to the update sheet which provided a further response from the neighbour at 92 Wolsey Way, and a response from Councillor Jackie Kirk including images in consideration of the wider impact the construction of this development would have on the two junctions in close proximity to the property
- g) advised members of the main issues to be considered as part of the application to assess the proposal with regard to:
  - Impact on Residential Amenity
  - Impact on Visual Amenity
  - Impact on Highway Safety
- h) concluded that the proposed extension would not cause unacceptable harm to visual amenity, residential amenity or highway safety, in accordance with the relevant policies of the National Planning Policy Framework and Central Lincolnshire Local Plan.

Mr Ernie Thompson, local resident, addressed Planning Committee in objection to the proposed development, covering the following main points:

- He thanked officers for allowing him the opportunity to speak.
- He settled in the City 20 years ago with his wife due to securing employment here.
- He purchased his bungalow at that time looking forward to a happy home, garden and amenity in retirement.
- He had enjoyed unobstructed light at his property for 20 years.
- He referred to National Planning Policy Framework 2019 and the 2017 Central Lincolnshire Local Plan.
- Loss of light resulting from the proposed extension would affect his ensuite/internal hall/ master bedroom and kitchen.
- Loss of light would be endured in his mature garden.
- The drawings within the officer's report showing indicative shadowing were not to scale.
- The proposals would result in a 2 storey 35 foot wall being created four feet from his perimeter fence.
- The development would enclose his family and overshadow his garden and greenhouse.
- He referred to The Central Lincolnshire Local Plan Paragraph 5.11.3 (and LP26) which in context stated that any development should not impact negatively upon the amenity experienced by neighbours.
- He referred also to paragraph 5.11.4 which stated that developers would be expected to explain how the policy matters had been addressed within their development proposals (where appropriate) in the Design and Access Statement submitted with their planning application.
- He was not against this development, in principal, however, there had been no discussion or compromise on an alternative plan.
- The proposal would block out his natural sunlight and also the heat to his property. This would cost more to keep the property warm.
- Economic considerations of increased heating costs and light needed to be taken into account.
- Issues of ecology/biodiversity.
- Impact on wildlife.
- The health and wellbeing of himself and his wife had not been taken into account.

Councillor Jackie Kirk, addressed Planning Committee as Ward Advocate in respect of the proposed development, covering the following main points:

- She represented Glebe Ward residents as Advocate, and neighbour Mr Ernie Thompson.
- Issues with disturbance during construction hours.
- She referred to the update sheet which included additional photographs showing the relationship between the proposed development in proximity to the two junctions on Wolsey Way.
- The existing double garage was located closer to the first roundabout.
- The third photograph on the update sheet showed the driveway of the property on the right hand side between the two major junctions.
- There had been major accidents at the junctions with damage to fencing/hedges.
- She referred to the google map photo on the last page of the update sheet which was hardly what would normally be classed as a cul-de sac, in

reality it was a cluster of three properties in very close proximity to each other with two of the properties sharing the same driveway and all listed as Wolsey Way.

- Shadowing issue - the longest day being the 21 June at the height of summer would cause greater overshadowing than the design diagram provided.
- Policy LP26 called for respect of the existing topography, landscape character and identity, and related well to the surroundings, particularly in relation to siting, height, scale, massing, form and plot widths, together with compatibility with neighbouring land uses.

Mr Rob Bradley, agent for the application, addressed Planning Committee in support of the proposed development, covering the following main points:

- This was an interesting application.
- There had been an in depth objection from the owners of No 92 Wolsey Way, although from no other neighbours.
- Councillor J Kirk had called in the application.
- Councillor Kirk referred in the update sheet to adverse effect on neighbouring properties, especially No 84, however this neighbour had not objected.
- In terms of highway safety, the hardstanding area for vehicles had been increased so that the owner of no 86 Wolsey Way would not need to park on the roadside.
- The applicant was happy for an extra condition to be imposed on the grant of planning permission requiring a Construction Management Plan.
- Trees/shrubs located 3.5 metres high to the south of No 86 offered shadowing part of the day and this would not change. There would be no effect on the trees.
- Surface water- there would be no effect on drainage.
- The extension would not put additional strain on the property or drainage.
- This scheme was unique in that the property was shielded by the existing garage.
- In terms of light, the extension would not cause undue harm to the neighbours' amenity. There would be additional shading to the side of the neighbours' property, however, this contained a bathroom and en suite window in the side elevation facing the proposed extension and not habitable rooms, therefore the impact would be limited.
- The extension would be erected on a piece of land which would be otherwise useless to the occupants.
- The application was supported by officers.
- He hoped members of Planning Committee could also offer their support to the proposals.

Members discussed the content of the report in further detail, raising individual concerns/questions as follows:

- Were there any planning concerns in relation to loss of light to the adjoining property being harmful enough to merit the planning application being refused?
- Had planning permission not been refused for the same site previously?
- If there was a degree of shading to the adjoining property at 9.00am, this would get worse during the day.

- Would the existing mature tree roots be damaged during construction work?
- What conditions were imposed on construction works?
- Where would the materials be stored?

The Planning Team Leader offered the following points of clarification:

- In terms of loss of light there would be a degree of overshadowing to the adjoining property, however, officers considered this was not significant enough to warrant refusal.
- If planning permission had been refused before 1998 this was sufficient time ago not to have any current relevance as it pre-dated existing policies.
- It was not possible for the Planning Authority to have any influence in respect of tree roots in the neighbours garden as it was the owners right to deal with trees within the curtilage of their property originating from next door. It was doubtful that significant damage would be caused during construction work as these were not huge trees.
- Standard conditions would be applied to grant of planning permission including development within three years and in accordance with submitted plans. It was within the gift of members to impose a further condition requiring hours of construction to be controlled if considered appropriate.
- There was ample space to the side of the garage and the garden for storage of materials. This would be no more of a problematic issue than any other property.

A motion was proposed, seconded, put to the vote and carried that a condition be imposed on the grant of planning permission requiring hours of construction to be controlled.

RESOLVED that planning permission be approved subject to the following conditions:

- 01) The development must be begun not later than the expiration of three years beginning with the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990.

- 02) With the exception of the detailed matters referred to by the conditions of this consent, the development hereby approved shall be carried out in accordance with the drawings listed within Table A.

The works shall be carried out in accordance with the details shown on the approved plans and in any other approved documents forming part of the application.

Reason: To ensure the development proceeds in accordance with the approved plans.

### **Conditions to be discharged before commencement of works**

The construction of the development hereby permitted shall only be undertaken between the hours of 08:00 to 18:00 Monday to Friday (inclusive) and 08:00 to

13:00 on Saturdays and shall not be permitted at any other time, except in relation to internal plastering, decorating, floor covering, fitting of plumbing and electrics and the installation of kitchens and bathrooms.

Reason: To protect the residential amenities of properties in the vicinity

**Conditions to be discharged before use is implemented**

None.

**Conditions to be adhered to at all times**

None.

**SUBJECT: WORK TO TREES IN CITY COUNCIL OWNERSHIP**

**DIRECTORATE: DIRECTOR OF COMMUNITIES AND ENVIRONMENT**

**REPORT AUTHOR: STEVE BIRD – ASSISTANT DIRECTOR (COMMUNITIES & STREET SCENE)**

## **1. Purpose of Report**

- 1.1 To advise Members of the reasons for proposed works to trees in City Council ownership, and to seek consent to progress the works identified.
- 1.2 This list does not represent all the work undertaken to Council trees. It is all the instances where a tree is either identified for removal, or where a tree enjoys some element of protection under planning legislation, and thus formal consent is required.

## **2. Background**

- 2.1 In accordance with policy, Committee's views are sought in respect of proposed works to trees in City Council ownership, see Appendix A.
- 2.2 The responsibility for the management of any given tree is determined by the ownership responsibilities of the land on which it stands. Trees within this schedule are therefore on land owned by the Council, with management responsibilities distributed according to the purpose of the land. However, it may also include trees that stand on land for which the council has management responsibilities under a formal agreement but is not the owner.

## **3. Tree Assessment**

- 3.1 All cases are brought to this committee only after careful consideration and assessment by the Council's Arboricultural Officer (together with independent advice where considered appropriate).
- 3.2 All relevant Ward Councillors are notified of the proposed works for their respective wards prior to the submission of this report.
- 3.3 Although the Council strives to replace any tree that has to be removed, in some instances it is not possible or desirable to replant a tree in either the exact location or of the same species. In these cases a replacement of an appropriate species is scheduled to be planted in an alternative appropriate location. This is usually in the general locality where this is practical, but where this is not practical, an alternative location elsewhere in the city may be selected. Tree planting is normally scheduled for the winter months following the removal.

## **4. Consultation and Communication**

- 4.1 All ward Councillors are informed of proposed works on this schedule, which are within their respective ward boundaries.
- 4.2 The relevant portfolio holders are advised in advance in all instances where, in the judgement of officers, the matters arising within the report are likely to be sensitive or contentious.

## **5. Strategic Priorities**

### **5.1 Let's enhance our remarkable place**

The Council acknowledges the importance of trees and tree planting to the environment. Replacement trees are routinely scheduled wherever a tree has to be removed, in-line with City Council policy.

## **6. Organisational Impacts**

### **6.1 Finance (including whole life costs where applicable)**

#### **i) Finance**

The costs of any tree works arising from this report will be borne by the existing budgets. There are no other financial implications, capital or revenue, unless stated otherwise in the works schedule.

#### **ii) Staffing N/A**

#### **iii) Property/Land/ Accommodation Implications N/A**

#### **iv) Procurement**

All works arising from this report are undertaken by the City Council's grounds maintenance contractor. The Street Cleansing and Grounds Maintenance contract ends August 2020. The staff are all suitably trained, qualified, and experienced.

### **6.2 Legal Implications including Procurement Rules**

All works arising from this report are undertaken by the Council's grounds maintenance contractor. The contractor was appointed after an extensive competitive tendering exercise. The contract for this work was let in April 2006.

The Council is compliant with all TPO and Conservation area legislative requirements.

### **6.3 Equality, Diversity and Human Rights**

There are no negative implications.

## **7. Risk Implications**

- 7.1 The work identified on the attached schedule represents the Arboricultural Officer's advice to the Council relevant to the specific situation identified. This is a balance of assessment pertaining to the health of the tree, its environment, and any legal or health and safety concerns. In all instances the protection of the public is taken as paramount.



Deviation from the recommendations for any particular situation may carry ramifications. These can be outlined by the Arboricultural Officer pertinent to any specific case.

7.2 Where appropriate, the recommended actions within the schedule have been subject to a formal risk assessment. Failure to act on the recommendations of the Arboricultural Officer could leave the City Council open to allegations that it has not acted responsibly in the discharge of its responsibilities.

## **8. Recommendation**

8.1 That the works set out in the attached schedules be approved.

**Is this a key decision?** No

**Do the exempt information categories apply?** No

**Does Rule 15 of the Scrutiny Procedure Rules (call-in and urgency) apply?** No

**How many appendices does the report contain?** 1

**List of Background Papers:** None

**Lead Officer:** Mr S. Bird,  
Assistant Director (Communities & Street Scene)  
Telephone 873421

**NOTIFICATION OF INTENDED WORK TO TREES AND HEDGES  
RELEVANT TO THEIR CITY COUNCIL OWNERSHIP STATUS.  
SCHEDULE No 5 / SCHEDULE DATE: 20/05/2020**

<b>Item No</b>	<b>Status e.g. CAC</b>	<b>Specific Location</b>	<b>Tree Species and description / reasons for work / Ward.</b>	<b>Recommendation</b>
1	N/A	Birchwood Nature Park	<b><u>Birchwood Ward</u></b> 2 x Birch <b><u>Retrospective notice</u></b> These trees were wind-thrown during Storm Ciara; Due to their location both trees were dismantled in the interest of public safety.	Replant with two suitable native trees; to be located within the park.
2	N/A	Boultham Park – cycle track	<b><u>Boultham Ward</u></b> 2 x Willow <b><u>Retrospective notice</u></b> Storm Ciara caused catastrophic stem failure to occur in these trees; coppicing was undertaken to remove the hazard whilst also enabling the safe retention of each tree.	
3	N/A	Boultham Park – Lake side	<b><u>Boultham Ward</u></b> 1 x Beech <b><u>Fell</u></b> This tree partially failed during Storm Ciara. During an inspection of the remaining standing structure a significant amount of decay was observed at the point of failure; this places the remaining structure at risk of unpredictable	Approve works and replant with a replacement Beech; to be located within the park.

			collapse.	
4	N/A	Boultham Park – St Helens Church	<b><u>Boultham Ward</u></b> 1 x Lawson's Cypress <b><u>Retrospective notice</u></b> This tree failed during Storm Ciara; it was removed as it had fallen onto memorial stones and posed the threat of further damage.	Replant with a replacement Cypress; to be located within Boultham park.
5	N/A	Whittons Park	<b><u>Carholme Ward</u></b> 1 x Ash <b><u>Retrospective notice</u></b> This tree was felled after it suffered a catastrophic stem failure as a result of Storm Ciara.	Replant with a replacement Cherry; to be located within the park.
6	N/A	Carholme Golf Course	<b><u>Carholme Ward</u></b> 2 x Poplars <b><u>Retrospective notice</u></b> These trees were blown down during Storm Ciara. Due to their location both trees were dismantled to eliminate the hazard they posed to the public.	Replace lost trees with two suitable native species; to be sited in suitable localities within the ward.
7	N/A	161 Wragby Road	<b><u>Glebe Ward</u></b> 1 x Cupressus <b><u>Retrospective notice</u></b> This tree failed during Storm Ciara; the tree was dismantled to remove the potential hazard that it posed to the public.	Replace with a native tree; to be sited at a suitable location within the local vicinity.
8	N/A	O/S Number 1 Denton House	<b><u>Hartsholme Ward</u></b> 1 x Hornbeam <b><u>Retrospective notice</u></b> This tree failed during Storm Ciara; the tree was dismantled to remove the potential hazard that it posed to the public.	Replant with a replacement Hornbeam

9	N/A	1 Cedar Avenue	<b><u>Witham Ward</u></b> 1 x Leyland Cypress <b><u>Retrospective notice</u></b> This tree failed during Storm Ciara; the tree was dismantled to remove the potential hazard that it posed to the public.	Replace with a Yew: to be planted at a suitable location within the ward.
10	N/A	Amenity verge to the rear of number 2 Mourn Terrace	<b><u>Witham Ward</u></b> 3 x Willow 1 x Maple <b><u>Fell</u></b> The willows are small diameter self-set trees which are causing damage to the adjoining fence line. The base of the maple exhibits extensive mechanical damage, which is also associated with excessive canopy dieback.	Approve works and replace with native tree species; to be sited at suitable locations within the local vicinity.
11	N/A	Amenity verge to the rear of 2 Lannimore Close	<b><u>Witham Ward</u></b> 1 x Maple <b><u>Retrospective notice</u></b> This tree failed during Storm Ciara; the tree was dismantled to remove the potential hazard that it posed to the public.	Replant with a replacement Maple.
12	TPO	Pathway to the rear of 22 Harwich Close	<b><u>Witham Ward</u></b> 1 x Ash <b><u>Re-Pollard</u></b> Reducing reiterative growth will reduce the risk of potential branch failure, and is also in line with best practice.	Approve works
13	N/A	The Backies – to the rear of Moorland Avenue	<b><u>Moorland Ward</u></b> 1 x Willow <b><u>Retrospective notice</u></b> This tree failed during Storm Ciara; the tree was dismantled to remove the potential hazard that it posed to the public.	Replant with a replacement Willow

14	N/A	18 Constable Avenue	<p><b><u>Moorland Ward</u></b>  2 x Lilac  <u>Retrospective notice</u>  These trees failed during Storm Ciara; the trees were dismantled to remove the potential hazard that they posed to the public.</p>	Replant with two suitable native trees; to be located at suitable positions within the ward.
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<b>Application Number:</b>	2019/1017/FUL
<b>Site Address:</b>	House Of Fraser, 226 - 231 High Street, Lincoln
<b>Target Date:</b>	19th March 2020
<b>Agent Name:</b>	Quod
<b>Applicant Name:</b>	Halifax Pension Nominees Limited
<b>Proposal:</b>	Demolition of existing buildings, erection of building consisting of Hotel with ancillary restaurant and bar (Use Class C1), flexible retail (Use Class A1/A2/A3/A4/A5) / leisure uses (Use Class D2), landscaping and associated works.

**Background - Site Location and Description**

The application site is located on a prominent corner on the west side of High Street, bounded by St Peter's Passage to the north, Mint Lane to the West and Mint Street to the south.

The site is occupied by a number of buildings, the main building being House of Fraser, a department store fronting High Street and Mint Street with a series of other buildings fronting Mint Street, lined towards Mint Lane.

The principal building fronting High Street consists of a four storey department store which was re-clad during the 1960s. Elsewhere on the site there are smaller scale three/two storey buildings fronting Mint Street which are positioned at the back edge of the footpath, these buildings have been amalgamated into the department store albeit some are used for storage or back of house facilities and a cafe in association with the main use.

There is a yard to the rear of the block, accessed from Mint Lane and used for car parking and deliveries.

None of the buildings on the site are listed although the site is located within the Cathedral and City Centre Conservation Area No. 1.

Adjacent to the site, on the south side of Mint Street, is Nat West Bank (Grade II Listed) and the Stonebow, a Scheduled Ancient Monument and Grade I Listed Building.

The site owner and applicant is Halifax Pension Nominees Ltd c/o Patriza Property Investment. The tenant of the building is currently House of Fraser, who went into administration in 2018 and were subsequently purchased by Sports Direct Group. The Planning Statement states that *“House of Fraser have since renegotiated their lease terms and are on a short-term lease (3 monthly); they will not commit to their long-term future at this location.”*

The applicant has highlighted throughout pre-application discussions that securing a scheme for re-development is defensive position in order to secure a sustainable, long term future for the site.

The applicant has therefore submitted the current scheme which would, if granted, safeguard against a highly prominent site within the City of Lincoln's High Street becoming vacant. Whilst the operator of the hotel has not yet been confirmed, the applicant has confirmed that there has been significant market interest for a hotel use on the site and on submission of the application were in *“advanced negotiations with an international brand hotel operator, who proposes to deliver a 4\* lifestyle hotel.”*

## The Proposals

The proposals involve demolition of all buildings within the site and erection of three connected blocks ranging from two storeys to five storeys. The new buildings, whilst all physically connected, can be defined into three sections given their differing design and scale; they are: the High Street Block, the Entrance/Link building and the Mint Street/Lane building. The High Street block is the largest, in terms of both scale and footprint. This block would be of five storeys, with the top floor set back from the roof edge. This block would be the most prominent and positioned on the High Street/Mint Street corner. The ground floor space would be flexible commercial space (A1/A2/A3/A4/A5/D2) at the High Street frontage with 150 bedroomed hotel above.

The entrance to the hotel would be through a two storey link building accessed off Mint Street. The two storey entrance, which would also include a bar, would link from the main hotel building to another two storey building further west on the corner of Mint Street/Mint Lane which would be occupied by the hotel restaurant. A first floor walkway would allow access from the main hotel into the building to the west, with the hotel gym located at first floor. The hotel entrance would open up into an outdoor courtyard area located to the rear of the building.

The proposed new buildings would be set back from the existing building line to Mint Street creating a wider footway and allowing the spaces for hotel guest drop off and pick up points adjacent to the hotel entrance and also creating a servicing bay for the retail units.

There is a proposed landscaped courtyard to the rear of the hotel entrance that would be accessible via the hotel, Mint Lane or St Peters Passage. Whilst currently closed, the proposal allows for a Public Space Protection Order on the passage to be lifted by the City Council, enabling the passage to be accessible to the public again.

## Pre-Application Discussions

The proposals have been subject to extensive pre-application discussions, which began in early 2019. These have involved various meetings with Planning Officers/Heritage Team members from City of Lincoln Council, Highway Officers at Lincolnshire County Council and Historic England.

The proposals have also been subject to feedback from the East Midlands Design Review Panel, a public consultation event and a briefing to City of Lincoln Council Elected Members.

All stages of the design process are fully detailed in the submitted Design and Access Statement and some of the changes incorporated during the pre-application process include:

- The scale of Mint Lane building and entrance building reduced from those originally proposed,
- The top floor of the High Street Block revisited and modified to create a more defined visual end to the building,
- Building retention analysis produced detailing why retention is not possible,
- Detailing on Mint Lane building refined
- Materials on all buildings discussed and Design Code produced, agreement to use dark bronze for the window framing for the High Street Block,



- Planting on St Peters Passage removed and building refined at this point to reduce anti-social behaviour through passive surveillance.

### **Site History**

The application has been screened for an Environmental Impact Assessment. The screening process concluded that the proposal was not EIA development (2019/0911/SCR).

The site history includes various applications for alterations to the existing store from 1960 onwards although it is not considered there are any previous applications that relate directly to the current scheme.

### **Case Officer Site Visit**

Various site visits during pre-application and application stages.

### **Policies Referred to**

- Policy LP2 The Spatial Strategy and Settlement Hierarchy
- Policy LP6 Retail and Town Centres in Central Lincolnshire
- Policy LP7 A Sustainable Visitor Economy
- Policy LP13 Accessibility and Transport
- Policy LP25 The Historic Environment
- Policy LP26 Design and Amenity
- Policy LP29 Protecting Lincoln's Setting and Character
- Policy LP31 Lincoln's Economy
- Policy LP33 Lincoln's City Centre Primary Shopping Area and Central Mixed Use Area
- National Planning Policy Framework

### **Issues**

In this instance the main issues to consider are:

- National and local planning policy- The principle of the proposed mixed use development
- Assessment of harm to the character and appearance of the conservation area
- Archaeology
- Highway Safety
- Impact on Adjacent Businesses
- Contamination
- Flood Risk and Surface Water Disposal
- Crime and Anti-Social Behaviour
- Ecology

### **Consultations**

Consultations were carried out in accordance with the Statement of Community Involvement, adopted May 2014.

## **Public Consultation Responses**

Name	Address
Mr Charles Cooke	12 Mint Lane Lincoln Lincolnshire LN1 1UD
Miss Elise Wiles-Komurcu	9 William Street Lincoln LN1 2LP
Mrs Joanne Bycroft	The Pessimist Gin and Wine Bar Mint Lane Lincoln LN1 1UD
Mrs B Toulson	9 Addison Close Navenby Lincolnshire LN5 0HA
Mrs Nicola Ellwood	20 Upper Long Leys Road Lincoln Lincolnshire LN1 3NH

## **Statutory Consultation Responses**

Highway Authority - Discussed within the report- Does not wish to restrict the grant of permission, conditions recommended.

The Lincoln Civic Trust - Objection - Does not object to the principle of full demolition and re-build. However, question the use of a major hotel viability and not easily convertible. Design of building is pleasing but it could make more of a statement. Applaud design of building on Mint Lane/Mint Street but concern with delivery arrangements. Concern regarding opening St Peter's Passage.

Anglian Water - Informative recommended that an adoption agreement be entered into.

Historic England - Objection, less than substantial harm to Conservation Area and further details required regarding archaeology - Further details within the report.

Upper Witham Internal Drainage Board - No Comments

Environment Agency - No comments

Lincolnshire Police has also offered its advice regarding the design of the building and layout of the site in order to reduce crime.

The Comments of the Council's Pollution Control Officer, Scientific Officer, Principal Conservation Officer and the City Archaeologist are discussed within the report.

Local Residents and Businesses commented in summary as follows:

Concerns regarding full demolition, concerns regarding lack of parking, concern with delivery

arrangements, careful consideration should be given to the use of St Peter's Passage, disruption from building work in terms of noise, access and dust, loss of department store, loss of jobs, concern regarding the modern design of building in context, too many bars, restaurants and hotels already.

All comments are attached in full at the end of this report.

## **Consideration**

The main policies engaged by the proposal can be summarised as follows:

### **National Planning Policy Framework**

The National Planning Policy Framework (NPPF) sets out three overarching objectives (social, economic and environmental) to be pursued in mutually supportive ways. The overall planning balance must look across all three strands (paragraph 8), it states that development should be pursued in a positive way therefore at the heart of the framework is a presumption in favour of sustainable development.

The NPPF states that planning policies and decisions should *"support the role that town centres play at the heart of local communities, by taking a positive approach to their growth, management and adaptation"* (paragraph 85).

Chapter 12 states that *"Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities."*

Furthermore, planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;
- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and 39
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.

Where proposals affect heritage assets the NPPF states that *"great weight should be given to asset's conservation"* and that this is regardless of the level of harm. Where harm is established, paragraphs 195 and 196 are relevant which require a balancing exercise to be undertaken as to whether the public benefits of a scheme would outweigh the harm, in this case to the Conservation Area.

In addition to Planning Policy, there is a duty within the Planning (Listed Buildings and Conservation Areas) Act 1990 that *"special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area."*

### Local Planning Policy

#### Principle of Development and Use

Central Lincolnshire Local Plan (CLLP) Policy LP2 advises that the Lincoln Urban Area will be the principal focus for development in Central Lincolnshire, including retail, leisure, cultural, office and other employment development.

The importance of the visitor economy in Lincoln is highlighted in LP7, which generates over £130 million a year and supports 2,000 jobs. The Policy aims to encourage sustainable growth in the visitor economy.

The site is within the City of Lincoln Central Mixed Area and the Primary Shopping Area (LP6 and LP33). Policy LP33 sets out uses which will be supported in principle within the Central Mixed Use Area. These supported uses contain all the uses proposed including, Hotel (C1), Retail (A1), Food and Drink Outlets (A3, A4 and A5) and Leisure (D2) providing a number of requirements are met, as outlined in the policy. One of the requirements is that 80% of the frontage remains in use Class A1 and others falling outside of A1 are should not undermine the vitality and viability of the shopping frontages.

Officers consider the proposed development is in accordance with Policy LP31 of the CLLP, in that the proposal will support the strengthening of Lincoln's economy, by contributing to the overall offer that Lincoln provides. The development would be a major mixed-use scheme within the Primary Shopping Area. The proposals would have the potential to strengthen the vitality of the high Street with a range of uses including flexible commercial space to respond to market conditions. The mixture of uses would complement each other, enriching Lincoln as a key destination for tourism and leisure, and as a significant provider of retail services.

Officers are therefore satisfied that the principle of this mixed-use development is wholly appropriate within the Central Mixed Use Area and supported within LP31 and LP33 of the CLLP.

Whilst the re-development of the site is acceptable in principle, the proposal involves total demolition of all buildings located on the site and given its position in a Conservation Area, should therefore be assessed against local and national policy in that regard.

#### Assessment of Harm to the Character and Appearance of the Conservation Area

The site location is rich in character and historical importance. The High Street Character Area details:

*"Much of the character of the area is diverse and varied reflecting its plot-by-plot development and redevelopment of buildings and spaces along its length. Consequently, the area has one of the highest building densities in the city, giving emphasis and prominence to any open spaces as well as buildings which sit within open space. Despite the great variations of built form and streetscape, many of which reflect the fashions,*

*materials, construction techniques and styles contemporary with their periods of construction, there are elementary congruencies as well as patterns that gel the variety of the Character Area's constituents together. An example might be the prominence and individuality of buildings facing High Street, recognising the street's long-held status as the city's premier retail space."*

The site is also adjacent to the Grade II Natwest building on the opposite site of Mint Street and the Stonebow, a Scheduled Monument and Grade I listed building.

### History of the Site

The history of the building has been well documented in the Heritage Statement submitted with the application (December 2019).

The earliest map regression data from 1842 shows the eastern corner and the High Street boundary extending northwards being developed albeit within small scale buildings, whilst the western part of the site was still undeveloped at this time. Development here happened later, around 1888, when Nos. 9-19 and 21-23 Mint Street are visible. No. 5-7 was built in approximately 1902.

By 1930 all of the building on the site were owned by Mawer and Collingham, a clothing retailer. Buildings on the site were amalgamated and operated as a department store albeit with some of the property let to other businesses including the building on the western end of Mint Street (21-23) which were used as staff living quarters.

Major refurbishments took place in the 1960s comprising some unsympathetic alterations including the removal of traditional shopfronts at No. 9-12 Mint Street and replacement with recessed plain modernist façades with large square columns. The principal building was also re-fronted during this period which is how it remains at present. House of Fraser purchased Mawer and Collingham in 1980.

### The Loss of Townscape from Demolition

Officers consider that the existing principal 4 storey building contributes negatively to the Conservation Area at present following the loss of its attractive frontage during the 1960s. Previous alterations have also compromised the ground floor at 5-7 and 9-12 Mint Street with the loss of their decorative historic shopfronts. However, some architectural detailing at first floor remains intact which contributes positively to the Conservation Area. These include two curved bay windows within 5-7 Mint Street along with their original windows and Queen Ann Revival style projecting turret with a weathervane above to the western most bay.

9-19 Mint Street is a more modernist designed building with fewer traditional features although officers consider they contribute positively to the Conservation Area in terms of historic townscape.

21-23 Mint Street provide an example of mid-late pair of semi-detached properties of a domestic scale in the Conservation Area. Constructed of red and buff brick (polychromatic pattern) in an alternate Flemish bond. Whilst the windows within the building have been boarded up for a number of years, it is considered that much of the external fabric of the building remains intact and therefore contributes positively to the Conservation Area.

The proposals include demolition of all of the buildings on site. Such wholesale demolition

to the established townscape within the centre of the Conservation Area will undoubtedly bring harm to its character and appearance and appropriate weight should be given to this matter. In such cases, Chapter 16 of NPPF and LP25 are relevant in establishing the degree of harm and whether that harm is justified when balanced against other issues.

Historic England have objected to the proposal although have stated that they do not object in principle to the demolition of the 4 storey building nor the re-development of the site. They state: *"The historic character of Lincoln would play a large part in attracting guests to the proposed hotel and demolition of historic buildings would be completely at odds with this desire."*

They have requested amendments to the proposal which would include retention of the smaller scale buildings fronting Mint Street. They consider *"It would be possible to make significant alterations to the internal footprint of these buildings whilst retaining their external contribution to the streetscape and conservation area, i.e. mainly facades and roofs. Façade retention with rebuilt/retained historic roof forms is common practice. The modern shopfronts of 5-7 and 9-19 Mint Street would provide an opportunity for reworking as part of the hotel entrance. The limited depth of the surviving buildings on Mint Street also presents opportunities for rethinking the arrangement and use of spaces immediately beyond them and within the site to accommodate the surviving buildings."*

### Constraints to Retention

The application is accompanied by a Design and Access statement, a Planning Statement and a response to the objection from Historic England. All of these documents set out the constraints of the site and the reasons that retention of buildings onsite cannot be considered a viable or workable option.

Retention of the buildings on site was discussed at length during the pre-application stage. During this stage, the applicant submitted indicative information to show that financial viability was one of many reasons as to why retention would not be possible. Historic England, in their objection have stated that they are not convinced by the financial justification put forward with the application and an independent audit should be carried out by the Local Planning Authority. Whilst viability information was submitted during the pre-application stage, this information has not been submitted with the current application nor is it required to be by planning policy. Officers have not therefore investigated financial viability further, particularly as this is only one of the many reasons the applicant has put forward for demolition of the buildings on the site.

The Design and Access statement, in its 'Retention Analysis,' sets out the reasons for demolition which include:

- Low floor to ceiling heights are not suited to hotel use; as servicing and plant would need to be accommodated there is a need for greater floor to ceiling heights.
- Façade retention has been considered, however to accommodate the required floor to ceiling heights, floor slabs will likely be situated in front of existing windows - affecting the visual appearance of the buildings.
- Considerable internal and external wear, with heavily weathered external brick work at lower levels and large cracks recorded within basement ceilings - creating health and safety risks, and implications for increased costs.
- Further costs associated with restoring the heavily altered shopfronts of nos. 9-19 and 5-7, and ensuring the buildings provide a comfortable environment and remain energy efficient.

- Varying levels across the site levels, creating issues with accessibility
- Building retention would compromise appropriate servicing and access to the site. Delivery bays along Mint Street and Mint Lane would not be deliverable, resulting in inappropriate servicing and drop-off arrangements that would conflict with transportation objectives and create problems during the operational stage.

Notwithstanding the advice from Historic England, Officers consider façade retention has its limitations and has varying degrees of success. In this case, the buildings worthy of retention would be those located on Mint Street. These are the smaller scale buildings and pre-application discussions with the applicant team suggested that in order to incorporate those buildings into the scheme there would be a need for large scale buildings directly behind the façade. If this option was viable, which the applicants have stated it wouldn't be, the result would be a remnant of the townscape being retained. Whilst compromising the scheme from the applicant's point of view, Officers consider it is also unlikely to result in a positive outcome in design terms.

Whilst each one of the above site constraints may not be considered unsurmountable when viewed in isolation, officers consider that collectively the constraints on site raise significant difficulties for the applicant. Consequently finding a viable and commercially sustainable future for the site is highly challenging. Officers therefore consider the applicants have put forward comprehensive and convincing argument for demolition of the Mint Street buildings.

#### Harm from Loss of Buildings

Historic England and the City Council's Principal Conservation Officer consider that the harm caused to the Conservation Area from the loss of buildings on the site would be less than substantial harm.

Paragraph 196 of the NPPF advises that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal.

It is therefore necessary to appraise the design of the proposals further in order to balance the issues whilst also considering the wider benefits and implications of the proposals.

#### Assessment of the Design of the Proposal

The proposals have been designed by Sheppard Robson, an Architecture Practice with 80 years' experience of designing large-scale projects. They have a proven track record of designing and delivering high quality, successful schemes.

The development involves the erection of three interconnected buildings. These can be divided into three elements; the High Street Block, the Hotel entrance and Mint Street Block.

#### High Street Block

This is the most visible part of the proposal and the proposed design responds to its setting with an appropriately scaled civic style building to the corner site. The building would be 5 storeys high although the top storey would be set back from the roof edge and treated in a darker material to the rest of the block.

In terms of scale, the block would sit slightly higher than the building to the north although

this is also evident with the existing House of Fraser building.

The building picks up on the strong vertical emphasis of the adjacent building to the north and Grade II listed Nat West building on the opposite side on Mint Street. The building uses repetition of fenestration set within deep reveals to create a pleasing rhythm to the design. Whilst there is a strong vertical emphasis, the design also includes horizontal detail that is carried through from the cornice line of the building to the north. Recessed brick panels and deep window reveals will create light and shade and add interest to the elevation. At ground floor the shop fronts would include signage areas with small canopies above. A ribbed pre-cast panel would be positioned above the canopies and would separate the retail element from the hotel above.

The upper floor is set back from the roof edge creating a lighter presence to the top storey. The proposal has been revised during pre-application discussions to incorporate an overhang to the roof of the top storey. This creates more of a defined visual 'end stop' to the building.

Proposed finishes to the building include a pre-cast concrete frame with infill brick panels. The upper floor will be finished dark bronze aluminium panels which will also match the window frame colour.

The shop front to the corner would be chamfered and finished in gold aluminium a colour which is repeated for the underside of the roof soffit.

The City Council's Principal Conservation Officer considers:

*“The loss of the building on the High Street and its replacement is considered to make a positive contribution to the character and appearance of the conservation area and setting of listed buildings given the superior design of the proposed building.”*

Officers concur with this view and consider the design of the building represents a contemporary but uncomplicated, quality piece of architecture that takes account of its sensitive setting and responds to adjacent buildings in form and scale. The building sits comfortably in its location whilst the palette of materials add interest and quality to the building.

#### Hotel Entrance -Link Building

The entrance to the hotel would be positioned on Mint Street and be of two storeys in scale. The entrance canopy at ground floor creates an attractive entry point with views into the building and further into the landscaped courtyard to the rear. Whilst the canopy creates horizontal emphasis to the building at ground floor, slim vertical pre-cast detailing at first floor bring more of a balance to the elevation whilst also assimilating successfully with the High Street block. A first floor walkway would allow access from the main hotel building into the building to the west and would add activity at this level.

Finishes would include pre-cast concrete with dark bronze metalwork to the entrance doors. Slim frames to the doors and large areas of glazing would ensure a permeable view into the courtyard to the rear. The Entrance and High Street blocks maintain a physical connection whilst the repetition of materials would provide a visual synergy between the two elements of the proposal whilst being designed differently in scale and form to respond to the changing character.



Officers consider the scale and design of the proposed entrance responds appropriately to its context and represents a transition from the larger High Street character to the more domestic scale at Mint Lane.

### Mint Street Block

The Mint Street corner block reflects the domestic scale of the surrounding character having the appearance of two semi-detached properties whilst also retaining a commercial feel particularly with regards to the roof scape. Glazing on the corner of Mint Street/Mint Lane to the restaurant of the hotel creates activity and interest.

The detailing avoids the obvious use of rainwater goods and uses deep window reveals to add light and shade to these elevations. Vertical and horizontal joints and brickwork laid in Flemish bond would break up the brickwork, adding texture whilst reflecting the existing building. Gun metal grey windows provide a contrast to the other blocks but represents the transition in character moving from east to west.

The Principal Conservation Officer states that *"Of particular success is the corner building to Mint Street and Mint Lane which responded to context in its use of a distinctive approach to the use of brick and the quasi industrial appearance."*

A key to the success of the design in built form will be the appropriate choice of specific materials. In order to give officers comfort in relation to the quality of the finish, a 'Façade Materials Design Code' has been submitted. The specific colour and texture of brick, pre-cast concrete, mortar and windows will be agreed before commencement on site and will require the construction of sample panels. A Facade Maintenance Strategy has been submitted with the application which sets out how facades will be regularly cleaned and maintained in order to maintain a high quality finish.

In conclusion, it is considered that each component of the proposal has been carefully designed to be successful individually whilst also working as a composition to respond appropriately in form and scale to the context. The architectural rationale for the elevations and the materials palette chosen are well informed and would be appropriate to the form of the building and locality. The proposal would in turn enhance the conservation area and secure positive contributions to the wider historic townscape. However, harm is not solely balanced against the contribution to the townscape and quality of the proposed design. It is therefore appropriate to look at the wider public benefits of the scheme in order to weigh them against the harm from loss of buildings.

### Public Benefit Assessment and Planning Balance

The National Planning Policy Guidance confirms that public benefits, which follow from development could be anything that delivers economic, social or environmental objectives as described in the NPPF.

### Economic

The Design and Access Statement states that the applicant is in advanced discussions with a global hotel operator who is an *"upscale 4\* rated lifestyle hotel brand."* Additionally, the proposed retail units would have a flexible use to ensure they can respond to market conditions. A mixed-use development in the heart of the City will clearly contribute to the

vitality and viability of the Central Mixed use area and prosperity of both the day and night time economy as well as the visitor economy.

The Hotel Fact File produced by Greater Lincolnshire Local Enterprise Partnership acknowledges the growth of budget hotels in Lincoln and it states that "... *the immediate priority for the city is the development of luxury boutique hotels to match the boutique hotel offer of competitor heritage city destinations.*" Increasing hotel space in the City is also emphasised in the Growth Strategy for Lincoln 2014-2034. The development would therefore contribute towards the objectives of these strategies.

Additionally, the Planning Statement submitted with the application anticipates that the hotel, restaurant and bar would create approximately 35 full time equivalent, 20 part time equivalent and at least 10 housekeeping roles. The retail element would create between 49-66 full time equivalent roles whilst the construction phase is estimated to create approximately 90 full time equivalent jobs.

The mixed-use development would therefore support Lincoln's role as a key destination for tourism and leisure and enhance Lincoln's status as a significant provider of retail services which is supported by LP31 - Lincoln's Economy and paragraph 8 of the NPPF.

### Environmental

Notwithstanding the immediate visual benefits derived from the high quality development, the proposal generates a number of other environmental improvement opportunities. To the north of the development boundary is St Peters Passage, a historic ginnel connecting the High Street to Mint Lane. Unfortunately, anti-social behaviour caused by lack of surveillance and high walls surrounding the passage has resulted in the City Council placing a Public Protection Order on the area which is now gated. The applicants wish to re-open the passage, design out corners and encourage passive surveillance to prevent anti-social behaviour in the future. The passage would open up into the landscaped courtyard to create a welcoming and inviting space to the benefit of the scheme and public realm. Furthermore, double doors from the restaurant and meeting rooms within the hotel would open out into the green space which has been carefully designed by a landscape architect. There would be potential for this to be a vibrant, pleasant and safe space for its users as well as members of the public passing through from High Street to Mint Lane. In addition to the courtyard providing visual and social benefits the planting within the courtyard area and use of rain gardens will increase storage and infiltration of surface water run off which would in turn reduce pressure on drainage systems.

The proposal would be set back from its existing position on Mint Street which would result in a widening of the highway on the northern side of the street. Whilst this has benefits in terms of traffic flow and creates sufficient drop off/servicing space for the hotel, it also ensures a less oppressive atmosphere for pedestrians.

The demolition of existing buildings and replacement with a new building would ensure it would meet the current sustainable credentials for building regulations. The Design and Access statement has highlighted the sustainability credentials of the proposal which would include:

- Floor slabs designed to allow free circulation and reduction of energy loss of the buildings
- Sustainability sourced materials where possible

- High performing thermal envelope with U values exceeding Building Regulation requirements
- An anticipated Energy Performance Certificate of A when compared to the existing D rated building, resulting in reduced energy consumption

The proposal has been carefully designed to ensure quality for the lifetime of the development with appropriate and effective use of landscaping, creating a safe inclusive and accessible space for users in accordance with Paragraph 8 and 127 of the NPPF and Policy LP26 of the CLLP.

### Social

The social benefits brought by the scheme are inherently linked to the economic and environmental benefits discussed above. These include the creation of jobs, an improved public realm and a safer more attractive environment for users of the hotel, restaurant and bar as well as being accessible and available to members of the public.

### Summary

The demolition of the buildings on site would cause harm to the identified heritage assets. Whilst this harm is less-than substantial harm, considerable importance and weight has been given to the objective of preserving the heritage assets with due weight given to these impacts. However, in recognition of the substantial public benefits that the proposed development provides, it is considered that the benefits of the scheme substantially outweigh the heritage harm caused.

Importantly, the proposal represents an opportunity to address an identified need for a prestigious mixed use scheme of the highest quality at a prominent location in the heart of the city centre and conservation area, whilst securing a long term future for this important site.

The uses proposed would make an important contribution to the economic growth of the City with a lifestyle brand hotel and a range of other complementing uses, boosting the City Centre economy and prosperity.

The public realm would be improved with the creation of a landscaped area and enhanced movement through the re-opening of St Peter's Passage, linking High Street and Mint Lane assisting the development in integrating into the wider townscape.

In addition to the NPPF, the City Council are also duty bound by Section 72 (1) of the Planning (Listed Buildings and Conservation Areas Act) 1990. However, despite the loss of buildings on the site, officers consider that in this instance the design of the development would make a positive contribution to the character and appearance of the Conservation Area. The loss of the existing building does cause a level of harm but in the context of the heritage asset, which is the Conservation Area, that level of harm is low. The re-development of a high quality, high specification building both preserves and enhances the character and appearance of the High Street which is a prominent part of the Conservation Area in accordance with Section 72 (1).

The applicant has offered to undertake a Building Recording exercise controlled via condition, prior to demolition. Whilst this does not limit or justify harm it will ensure a proper record of the buildings are made before their demolition.

## Archaeology

A Desk Based Assessment (DBA) has been submitted with the application in order to assess the potential impacts on archaeological remains that may be present within the site. The DBA includes a deposit model albeit without borehole data which explores the relative levels and likely survival of Roman and other remains on site. It is possible that existing basements have destroyed archaeological deposits although it is also possible that it has merely removed post medieval deposits from above Roman and Medieval archaeology.

Further information has been requested by both the City Archaeologist and Historic England which relate to impact from the proposed attenuation tank, a piling plan showing the position and density of foundation piles within the site and test pits within the existing cellars.

The constraints on the site, namely Covid 19 restrictions and the current occupation of the building, has meant that pre-determination work on site has not been possible. Whilst this would be useful at the pre-determination stage in order to determine an archaeological strategy for the site, it has not been possible. However, officers consider this work can be undertaken pre-commencement and be controlled with a suitability worded condition.

Officers would therefore recommend a bespoke condition, which requires initial investigations of test pits and bore holes as well as the standard archaeology condition requiring a Written Scheme of Investigation to ensure that potential deposits can be avoided or limited where possible and properly recorded if discovered.

Overall, it is considered that the public benefits presented by the scheme are considerable and outweigh the potential harm to archaeology and the proposal. Notwithstanding that, a detailed condition will ensure limitation of harm to archaeological remains where possible. Officers therefore consider the proposal accords with LP25 of the CLLP and paragraphs 189 and 190 of the NPPF.

## Highways Impact

The site occupies a highly sustainable location, being within the city centre and adjacent to public transport links at the railway station, Transport Hub and various car parks. Reflective of its highly accessible location, there would be no onsite parking. Notwithstanding the sustainable location, the submitted Transport Assessment submitted with the application highlights enough capacity for the hotel within the closest car park (Lucy Tower) to the development. A cycle store with a minimum of 10 spaces would be provided within the site. Improvements to highways would also include the widening of the Mint Street footway brought about through moving the building line back from its existing position. St Peters Passage would also be widened, improving visibility and movement for pedestrians.

The hotel would be serviced from the bay accessed via Mint Lane, an improvement from the current loading arrangements, which take place on the street. The widening of Mint Street would also create a new loading bay on Mint Street which would be utilised for serving the new retail units on High Street. Additional drop off bays would also be provided adjacent to the hotel entrance on Mint Street. A Delivery and Servicing Management Plan has been submitted with the application detailing the arrangements in full.

A Travel Plan has been submitted with the application subsequently revised following

highway comments. The Travel Plan details the sustainable options to access the site whether users are travelling by car, rail, cycling or on foot. A condition will ensure the Travel Plan is in place prior to the opening of the hotel.

The application has been considered by the County Council as Highway Authority who do not raise any objections to the application in respect of access, highway safety or traffic capacity subject to recommended conditions regarding the implementation of the highway improvement works prior to occupation, the submission of a construction management plan and a road safety audit prior to commencement.

Subject to the recommended conditions, officers consider the development would promote the use of sustainable modes of transport for users of the site and would not have a severe impact on the transport network in accordance with paragraphs 108 and 109 of the NPPF and LP13 of the CLLP.

### Impact on Adjacent Businesses

Given the location of the development, there are few, if any, residential properties in the area which would be impacted upon by the development. However, a number of local businesses have raised concerns with the proposals. These concerns focus on the construction period and servicing of the development once constructed rather than the principle of re-development of the site.

The Servicing Plan submitted with the application shows the servicing arrangements. Whilst there is concern from some adjacent businesses that servicing will still take place on the street, the servicing plan along with a swept path analysis shows that servicing will be possible from the provided bay. Planning conditions will ensure these measures are in place before the use commences.

It is acknowledged that the Mint Lane/Beaumont Fee site has been under construction for some time and neighbouring businesses are concerned regarding another development adjacent to their businesses. Development is evitable in this urban context although whilst there will be some degree of disturbance caused, this can be limited through use of a Construction Management Plan, recommended by the City Council's Environment Health Officer and the Highway Authority which should be submitted prior to commencement. This will require details of matters such as wheel washing, parking of site vehicles, unloading of plant and materials and their storage, routes of construction traffic as well as details of the control of dust, noise and vibration to be submitted and approved before the development commences.

Officers therefore consider that the proposals would be unlikely to cause unacceptable harm the amenities of nearby properties subject to a construction management plan condition.

### Contamination

A Phase 1 preliminary risk assessment has been submitted with the application. This report recommends a Phase 2 intrusive site investigation is undertaken.

These have been assessed by the Council's Scientific Officer and it is considered that ground contamination can be dealt with in an acceptable manner via a pre-commencement condition.

## Flood Risk and Surface Water Disposal

The site is located in Flood Zone 1 and therefore at low risk of flooding from river flooding.

A Flood Risk and Sustainable Drainage Assessment details the approach for surface water and foul water discharge. Surface water will be dealt with via an attenuation tank of a size to deal with a 1 in 100 annual storm event + 40 climate change increase which will then discharge into the drainage network at an appropriate rate. Tree pits within the landscaped area and rainwater gardens would also be used to assist discharge rates. Pre-application discussions were undertaken with both Anglian Water and the Lead Local Flood Authority neither of which have raised any objection to the proposed application. The Internal Drainage Board has also raised no objections. Officers are therefore satisfied that the arrangements on site are sufficient in order to ensure surface water will be dealt with appropriately and would not cause flooding of the site or surrounding sites.

## Crime and Anti-Social Behaviour

Lincolnshire Police have raised no objections to the proposals although have offered advice for the applicant in designing-in crime reduction measures within the site and building which have been directed to the applicant for their information.

## Ecology

A bat survey has been submitted with the application which included a Bat Suitability Assessment. This concluded there was low suitability within the site for roosting bats although this could not be ruled out therefore further investigations were carried out. The further investigations concluded that the proposed works would have minimal impact on the bat population. Lincolnshire Wildlife Trust were consulted on the application but did not make representations. Officers are satisfied that the conclusions of the report are reasonable, and, in any case, bats and their roosts are protected under the Wildlife and Countryside Act 1981, if any unanticipated roosts are found during demolition.

## **Application Negotiated either at Pre-Application or During Process of Application**

Yes - extensive pre-application and application discussions.

## **Financial Implications**

None.

## **Legal Implications**

None.

## **Equality Implications**

None.

## **Conclusion**

The proposals represent an opportunity to address an identified need for a Lifestyle hotel and mixed-use scheme of the highest quality at a prominent location in the heart of the city

centre and conservation area, whilst securing a long term future for this prominent site and impacting positively on the City Centre economy.

The public realm would be improved with the creation of a landscaped area and enhanced movement through the re-opening of St Peter's Passage, linking High Street and Mint Lane and assisting the development in integrating into the wider townscape.

Whilst the development would impact on the historic environment, the harm is considered to be less than substantial. Officers consider that there is a clear and convincing justification for this harm which is outweighed by the significant public benefits offered by the proposed scheme.

On balance, therefore, it is considered, that, notwithstanding the very considerable weight that must be given to preserving the setting of the conservation area, the harm caused would be less than substantial and would be outweighed by the public benefits of the scheme and therefore meet the requirements set out in paragraph 196 of the NPPF.

### **Application Determined within Target Date**

Yes- extension of time given.

### **Recommendation**

To grant consent for the proposal with the conditions set out below.

### **Conditions**

- Timeframe of permission - Standard
- Approved Plans –Standard
- Material samples for all external materials
- Archaeology
- Contamination
- Noise assessment with regard to external plant and machinery
- Construction Environmental Management Plan;
- Highway construction management plan
- Building Recording Survey
- Travel Plan to be in place before operation
- Stage 1 Road Safety Audit
- Highway works to be completed before occupation
- Delivery and Servicing arrangements to be implemented before use
- Kitchen extract system to be submitted
- Hard and soft landscaping details for courtyard to be approved

### **Report by: Planning Manager**

All relevant drawings are attached to your report but the full set of drawings and representations are available to view on the website. We would encourage you to visit the website for the fullest picture of the detail available with the application.

<https://development.lincoln.gov.uk/online-applications/applicationDetails.do?activeTab=documents&keyVal=Q2PTVMJFMAO00>

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**2019/1017/FUL House of Fraser**



Site Location Plan

## The Proposal



View looking from east to west



Proposed High Street Retail Facade

High Street view



Proposed Corner View as seen through the Stonebow



Detailed view of building corner at ground level





Mint Lane Block Bay Study



Proposed view down Mint Street



Proposed Mint Street Elevation



Proposed View from inside Courtyard





Existing

Existing view from Stonebow



Proposed view from Stonebow



Existing

Existing east to west view



Proposed east to west view



Existing

Existing view Mint Street



Proposed view Mint Street





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## House of Fraser 2019/1017/FUL

### Neighbour Comments

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**Mr Charles Cooke 12 Mint Lane Lincoln Lincolnshire LN1 1UD (Neutral)**

Comment submitted date: Tue 07 Jan 2020

Having now seen the delivery proposals, I am even more concerned about the use of Mint Lane for delivery access. The existing delivery yard is poorly used as delivery drivers prefer to stop on street to unload. The proposed hotel loading bay is difficult for larger vehicles to access, as depicted in the drawn turning circles in the report. I am sure that this loading bay will not be used unless loading from the street is forbidden.

I am also concerned at the noise and disruption that will be caused by another major construction project accessed through Mint Lane. Our well being centre accommodates services for people sensitive to such matters as a result of their mental health needs.

Further consideration suggests that St Peter's Passage should be widened its full length to mitigate acts of anti social behaviour.

---

**Mrs Joanne Bycroft The Pessimist Gin and Wine Bar Mint Lane Lincoln LN1 1UD (Objects)**

Comment submitted date: Mon 30 Dec 2019

I am a business on Mint Lane that has suffered considerable disturbance from the current building works on Student Flats top of Mint Lane. There is very little access to my property and further building works in the area would cause more unnecessary disruption. I would not be able to get to my business to trade if Mint Lane and Mint Street were closed to traffic. Customers to my business can only access from Mint Lane. What happens if I suffer loss of trade during the demolition and development process? Parking on Mint Lane and the surrounding area is already non existent, at night we often get blocked into our premises, what would happen during the build and if 150 rooms were added into the area?

I am also extremely concerned during any demolition regarding noise, access and general dust issues.

---

**Mr Charles Cooke 12 Mint Lane Lincoln Lincolnshire LN1 1UD (Neutral)**

Comment submitted date: Sun 29 Dec 2019

I am concerned at the lack of on site provision for deliveries and parking. The relevant application documents are not available on line at this time.

Parking for unloading by vehicles servicing the existing retail use are a persistent problem causing obstructions in Mint Lane and on site spaces for staff parking appear to be lost in this development.

Our own frontage is regularly subjected to fly parking by staff from nearby businesses, particularly at night, and we would like to see the proposed development make provision on site.

The provision of new street parking spaces on Mint Street might also compound current delays to through traffic whilst people manoeuvre in and out of these spaces, as happens at the moment on the opposite side of the road.

The use of St Peters Passage also needs careful consideration as this can be a focus for anti-social behaviour.

---

**Miss Elise Wiles-Komurcu 9 William Street Lincoln LN1 2LP (Objects)**

Comment submitted date: Mon 23 Dec 2019

The proposed plan is outrageous. House of fraser aside from Debenhams is the only decent department store, it brings many people in every day and continues to make profit, I work in house of fraser and the amount of people that come into store is crazy it is packed at times. A hotel in that location would fail anyway I mean who wants to sleep on the high street where all the teenagers walk past to go into town and drink and do drugs no one wants that also the fact there would be no parking is also another reason why this hotel should not be built it is a useless plan and a waste of time.

---

**Mrs Nicola Ellwood 20 Upper Long Leys Road Lincoln Lincolnshire LN1 3NH (Objects)**

Comment submitted date: Sat 21 Dec 2019

Rather than demolish can you follow a similar approach to keeping the original Victorian brickwork. The ideal would be to keep the original building removing the cladding but if a full renovation is needed, keep the brickwork as a facade as you have with the buildings in Beaumont fee.



Mrs B Toulson  
9 AddisonClose  
Navenby Lincoln  
LN5 0HA

21.02.20

Ref.No:2019/1017/FUL House of Fraser - Objection to Application

Objections listed below not especially in order of importance.

1. We have been very lucky to retain our House of Fraser store so far and it is a very important asset to our high street, shoppers are now coming from elsewhere as they have lost their store, good quality clothing etc as against all the cheap clothing shops which only cater for teenagers demolish it and many people will no longer bother to walk through the Stonebow. Hundreds of staff will lose their jobs and with so many empty shops in Lincoln would have little hope of new ones.

2. The present building is in a conservation area and if the cladding were removed it would be even more attractive than at present so to demolish and erect an ultra modern block of up to five stories high would definitely not fit in with the nearby banks and the stonebow. This would not be attractive at all. The large cinema complex on Sincil Street is such an example and detracts from the excellent renovation of the market building and the little shops on the street being far too modern a design.

3. The demolition of such a large building would cause tremendous disruption to that whole area, one would presume that Mint Lane would need to be closed off to traffic for many months. Because of the site the Archeology people would probably wish to do exploratory digs which would take time before any other work could start. Clearance of the site would involve using very heavy machinery and lorries to take the rubble away. The normal traffic along Mint Lane would have to be re-routed causing larger hold ups than at present especially at peak times. We have seen all the disruption to pedestrians for months and months along the Sincil Street area which has put people off coming to town surely we don't have to have another couple of years or more of it on House of Fraser site.




2

4. We do not need another hotel on this site, in the last few years we have had several good hotels built in Lincoln with parking facilities nearby, as it appears this proposed hotel would not have a car park it would have taxis coming and going all day adding to the traffic. As for another bar and cafe we have plenty. From the Stonebow to the Strait cafes and bars outnumber the shops now. At the moment we have many shops empty some of them for months now even though they have been renovated so it would be absolutely ridiculous to get rid of an existing business. There are plenty of spare places for hotels etc including land along Tentercroft street where another hotel was built.

5. Finally, this application has not been widely advertised enough as many people no longer take the weekly Echo. The same thing happened with the open session when the proposed plans were on show to the public, most people only heard about it afterwards. Hope this was not a ploy to keep us in the dark!!

Should the House of Fraser become closed in future I am sure that some better use of the site could be made in fitting with the buildings around it. I'm sure you know the saying | "if it's not broke don't fix it"

Yours faithfully

  
Barbara Louison

## Consultee Comments

**Place Directorate**  
Lancaster House  
36 Orchard Street  
Lincoln LN1 1XX  
Tel: (01522) 782070



To: Lincoln City Council

Application Ref: 2019/1017/FUL

Description of development

**Demolition of existing buildings, erection of building consisting of Hotel with ancillary restaurant and bar (Use Class C1) (maximum of 5 storeys), flexible retail (Use Class A1/A2/A3/A4/A5) / leisure uses (Use Class D2), landscaping and associated works**

Address or location

**House of Fraser, 226 - 231 High Street, Lincoln, Lincolnshire, LN2 1AY**

With reference to the above application received 20 December 2019

Notice is hereby given that the County Council as Local Highway and Lead Local Flood Authority:

**Requests that any permission given by the Local Planning Authority shall include the conditions below.**

CONDITIONS (INCLUDING REASONS)

Highway Condition 01

No development shall take place until a Stage 1 Road Safety Audit for the proposed improvements to Mint Street and St Peters Passage has been submitted to the Local Planning Authority.

Reason: To ensure that the proposed design does not impede on public safety and takes into consideration any recommendations made.

Highway Condition 21

No part of the development hereby permitted shall be occupied before the works to improve the public highway (by means of improvements to Mint Street and St Peters Passage in accordance with Drawing ExA\_1874\_101 dated November 2019) have been certified complete by the Local Planning Authority.

Reason: To ensure the provision of safe and adequate means of access to the permitted development.

Highway Informative 07

The highway improvement works referred to in the above condition are required to be carried out by means of a legal agreement between the landowner and the County Council, as the Local Highway Authority.

#### Highway Condition 02

No development shall take place until a Construction Management Plan and Method Statement has been submitted to and approved in writing by the Local Planning Authority which shall indicate measures to mitigate against traffic generation and drainage of the site during the construction stage of the proposed development.

The Construction Management Plan and Method Statement shall include;

- the parking of vehicles of site operatives and visitors;
- loading and unloading of plant and materials;
- storage of plant and materials used in constructing the development;
- wheel washing facilities;
- the routes of construction traffic to and from the site including any off site routes for the disposal of excavated material and;
- strategy stating how surface water run off on and from the development will be managed during construction, including drawing(s) showing how the drainage systems (permanent or temporary) connect to an outfall (temporary or permanent) during construction.

The Construction Management Plan and Method Statement shall be strictly adhered to throughout the construction period.

Reason: To ensure that the permitted development is adequately drained without creating or increasing flood risk to land or property adjacent to, or downstream of, the permitted development during construction and to ensure that suitable traffic routes are agreed.

#### Highway Informative 01

Please contact Lincolnshire County Council Highways Network Team on 01522 782070 to obtain an oversailing license for the window canopies over the footway, pursuant to Section 177, Highways Act 1980.

#### Highway Informative 08

Please contact the Lincolnshire County Council Streetworks and Permitting Team on 01522 782070 to discuss any proposed statutory utility connections and any other works which will be required within the public highway in association with the development permitted under this Consent. This will enable Lincolnshire County Council to assist in the coordination and timings of these works.

Case Officer:

*Becky Melhuish*  
for Warren Peppard  
Head of Development

Date: 10 February 2020



Ms Julie Mason  
City of Lincoln Council  
City Hall  
Beaumont Fee  
Lincoln  
LN1 1DF

Direct Dial: 0121 625 6845

Our ref: P01145892

22 January 2020

Dear Ms Mason

**T&CP (Development Management Procedure) (England) Order 2015  
& Planning (Listed Buildings & Conservation Areas) Regulations 1990**

**HOUSE OF FRASER, 226-231 HIGH STREET, LINCOLN, LN2 1AY  
Application No. 2019/1017/FUL**

Thank you for your letter of 20 December 2019 regarding the above application for planning permission. On the basis of the information available to date, we offer the following advice to assist your authority in determining the application.

**Summary**

The House of Fraser site is located in a prominent location within the historic core of Lincoln and within the Cathedral and City Centre conservation area. Numbers 5-7, 9-19 and 21-23 Mint Street make evident the character of mid to late 19<sup>th</sup> century and early 20<sup>th</sup> century development in the city centre. They clearly make a positive contribution to the significance, character and appearance of the Cathedral and City Centre conservation area. There is a strong likelihood that at least in parts of the site archaeological remains of equivalent importance to scheduled monuments will survive.

The proposed scheme is to demolish all the buildings on the site and erect a 5 storey 150 room hotel with ancillary bar and restaurant, flexible retail/leisure units and central courtyard. Historic England recognises that the House of Fraser site is a key commercial site within the city centre. We have no objection in principle to its redevelopment to improve Lincoln's retail and hotel offer. We also have no objection to the demolition of the principal building facing High Street. However we consider that the demolition of numbers 5-7, 9-19 and 21-23 Mint Street would harm the significance, character and appearance of the conservation area and is not justified. The historic character of Lincoln would play a large part in attracting guests to the proposed hotel and demolition of historic buildings would be completely at odds with this desire.

We recommend that key elements of numbers 5-7, 9-19 and 21-23 Mint Street which contribute to the character and appearance of the conservation area are retained and



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incorporated into the development, albeit with potentially substantial alterations to the internal spaces. This approach to heritage led regeneration has been used to great effect in the Cornhill Quarter in Lincoln where the townscape contribution of smaller historic commercial buildings has been retained whilst radically altering the internal floorplates to meet modern commercial needs. This has added greatly to Lincoln's attractiveness as a place and provides social, economic and environmental benefits. We also recommend that further information is provided as described below in order to determine this application, including on the significance of surviving historic buildings and archaeological remains.

Our advice is provided in line with the National Planning Policy Framework (NPPF, updated 2019), the NPPF Planning Practice Guide, and in good practice advice notes produced by Historic England on behalf of the Historic Environment Forum including *Managing Significance in Decision-Taking in the Historic Environment*.

Historic England has concerns regarding the application on heritage grounds. Your authority should take these representations into account and seek amendments, safeguards or further information as set out in our advice. If, however, you propose to determine the application in its current form, please treat this as a letter of objection.

### **Historic England Advice**

#### Significance

The site of the proposed scheme is located in a prominent location in the centre of Lincoln within the historic core of the city. It lies within the Cathedral and City Centre conservation area. The historic core of Lincoln is central to the city's identity and attractiveness as a place to live and work. The historic development of the city from the Roman period onwards is evident in Lincoln's townscape and tells the story of the people of Lincoln.

High Street follows the line of the Roman Ermine Street and is the main historic thoroughfare through Lincoln. It remains the principal commercial street in Lincoln. The intrinsic scale and character of development in this part of the conservation area includes taller, mainly commercial, buildings facing onto the main commercial streets, particularly High Street, with much smaller scale commercial and residential development on secondary streets, including Mint Street. The historic development of the site of the proposed scheme follows this pattern. The principal House of Fraser building which fronts onto High Street is of 4 storeys and formerly made an impressive architectural statement despite being an amalgam of several buildings. It was re-fronted in the 1960s and its overall architectural form today does not make a positive contribution to the conservation area.

However numbers 5-7, 9-19 and 21-23 Mint Street retain their historic scale (two to two-and-a-half storeys) and character, although numbers 5-7, 9-19 have altered shopfronts. They are good quality brick buildings with detailing typical of the mid to late



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19<sup>th</sup> century and early 20<sup>th</sup> century. Numbers 5-7 and 9-19, illustrate the reducing scale of late 19<sup>th</sup> / early 20<sup>th</sup> century commercial premises along the secondary Mint Street when stepping away from High Street. Numbers 5-7 have embellished and decorative features in the Queen Anne style giving them added prominence closer to High Street. By contrast numbers 20-23 Mint Street, built in 1869, are small scale residential properties, although with attractive polychromatic brick detailing. Together the buildings on Mint Street make evident the character of mid to late 19<sup>th</sup> century and early 20<sup>th</sup> century development in the centre of the lower city, including surprisingly modest houses. This is particularly evident when the buildings are seen in conjunction with the Baptist chapel, built in 1870/71, in views from High Street. Mint Street was extended to the south west in 1886 and prominent views back towards 9-19 and 21-23 Mint Street from Newland again illustrate the historic 19<sup>th</sup> century townscape development.

Numbers 5-7, 9-19 and 21-23 Mint Street clearly make a positive contribution to the significance, character and appearance of the Cathedral and City Centre conservation area.

Maps and aerial photographs show that other historic buildings exist within the site. However the application does not address these buildings in any detail. We advise that further assessment of the remaining historic buildings on the site is necessary so that the impact of the proposed scheme can be properly understood.

The southern wall of the lower Roman walled city lay just to the south of the site and its location is approximately marked by the Guildhall and Stonebow (listed Grade I and a schedule monument) which forms a medieval gateway into the former lower walled city. Views along High Street in which the Guildhall and Stonebow are particularly prominent and define the threshold of the former walled city make an important contribution to the significance, character and appearance of the conservation area as well as the setting and significance of the Stonebow and Guildhall itself.

#### *Archaeology*

The site lies within the Lower Roman City: an area of high archaeological potential both for the understanding of Roman period occupation and its prehistoric pre-cursors and post-Roman through Medieval succession. We refer you to the advice of the City Archaeologist as regards the sufficiency of the Desk Based Assessment but we wish to focus on the sufficiency of understanding of the significance of archaeological remains, their importance and the impact of the proposed development there-on.

As an area of the Roman Lower City without significant twentieth century intrusions there is a high potential for Roman remains to survive even in areas subject to cellaring and footings through the nineteenth century. By direct analogy with the importance of remains found elsewhere in the city and reflected in the Scheduled Monument designations, there is a strong likelihood that at least in parts within the



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proposed development site remains of equivalent importance to these Scheduled Monuments will survive.

#### The proposed scheme

The proposed scheme is to demolish all the buildings on the site and erect a 5 storey 150 room hotel with ancillary bar and restaurant, flexible retail/leisure units and central courtyard.

Historic England recognises that the House of Fraser site is a key commercial site within the city centre. We have no objection in principle to redevelopment of the site to improve Lincoln's retail and hotel offer, and we recognise the importance of a new 4\* hotel within the city centre. We also have no objection to the demolition of the principal re-fronted building facing High Street, subject to a better understanding of the extent of surviving adjoining historic buildings in the centre of the site. We recommend that the cornice line of the proposed principal building on High Street is strengthened and the recessed top storey replaced with a mansard roof to appear as part of the roofscape and reduce the impact on the setting and significance of the Stonebow and Guildhall in views from the south. High quality detailing and materials will be crucial to the success of new development in this key location.

Whilst we consider that there is an opportunity for high quality development on this site, we consider that the demolition of numbers 5-7, 9-19 and 21-23 Mint Street would harm the significance, character and appearance of the conservation area and is not justified.

The application seeks to justify the total loss of the buildings along Mint Street in part through an appraisal of viability - our comments on other aspects of partial retention are given below. We are not convinced by the assessment provided. We recommend that an independent audit of the financial justification is carried out for your authority.

We do not agree that the practical issues raised by retention are insurmountable. We recommend that key elements of numbers 5-7, 9-19 and 21-23 Mint Street which contribute to the character and appearance of the conservation area are retained and incorporated into the development. It would be possible to make significant alterations to the internal footprint of these buildings whilst retaining their external contribution to the streetscape and conservation area, ie mainly facades and roofs. Façade retention with rebuilt/retained historic roof forms is common practice. The modern shopfronts of 5-7 and 9-19 Mint Street would provide an opportunity for reworking as part of the hotel entrance. The limited depth of the surviving buildings on Mint Street also presents opportunities for rethinking the arrangement and use of spaces immediately beyond them and within the site to accommodate the surviving buildings. We do not consider that the courtyard would be very successful due to its constrained nature and surrounding buildings. Better use of this space should also be considered to facilitate incorporation of the buildings along Mint Street.



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This approach to heritage led regeneration has been used to great effect in the successful Cornhill regeneration scheme in Lincoln where the townscape contribution of smaller historic commercial buildings has been retained whilst radically altering the internal floorplates to meet modern commercial needs. The historic character of Lincoln would play a large part in attracting guests to the proposed hotel and demolition of historic buildings would be completely at odds with this desire. We encourage the applicant to reconsider the proposed scheme to retain the buildings on Mint Street.

We refer you to your expert conservation advisor regarding the impact on the setting and significance of the nearby grade II listed buildings.

#### *Archaeology*

When considering the sufficiency of information provided by an application further to paragraphs 189 and 190 of the National Planning Policy Framework (NPPF), it is crucial for your authority to consider whether this information provides you with the ability to treat archaeological remains proportionately to their importance (paragraph 197) and in particular, as set out in footnote 63, to apply the policies in respect of designated heritage assets (paragraphs 193, 194, 195, 196) in the case of remains of demonstrably equivalent importance to a Scheduled Monument.

Within the proposed scheme immediately obvious risks can be identified in the proposed attenuation tanks and the piled support for new structure. In this context please see our latest advice on piling which stresses the importance of understanding the significance of the remains through which piles are proposed in any rational or justification for the works, and our published advice on the preservation of buried archaeological remains in particular in wet contexts.

<https://historicengland.org.uk/images-books/publications/piling-and-archaeology/>  
<https://historicengland.org.uk/images-books/publications/preserving-archaeological-remains/>

There are physical constraints upon what might be achievable in terms of pre-determination archaeological evaluation on the site in so far as it involves working within and around standing structures. However we consider that with the expert advice of the City Archaeologist locations for test pits and boreholes can be found within the existing structures and that these can in a suitable model provide crucial information to inform the determination of the application (and revisions thereto). Alongside; historic records of drainage works, off site geo-technical investigations and recorded archaeological interventions on adjacent sites, new data should be incorporated into an archaeological deposit model which explores the relative levels and likely survival of Roman and other remains on site. In particular it should be born in mind that there may be episodes of Roman period terracing within the site concealed by modern levels and fabric. See the recent Historic England funded



THE AXIS 10 HOLLIDAY STREET BIRMINGHAM B1 1TF

Telephone 0121 625 6888  
HistoricEngland.org.uk



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Historic England

volume on deposit modelling.

<https://www.brighton.ac.uk/research-and-enterprise/groups/past-human-and-environment-dynamics/deposit-modelling-and-archaeology.aspx>

Ground Penetrating Radar survey may be useful in establishing the likely depth and character of deposits / buried remains where existing floor structures are conducive.

As submitted the application does not provide sufficient archaeological information in terms of NPPF paragraphs 189 and 190 for it to be safely determined by your authority because without an adequate deposit model you will be unable to gauge the impacts of the development upon buried remains and thereby balance those impacts against benefits proportionately to their importance (in particular as regards nationally important remains, where via footnote 63 to the NPPF higher standards of justification and public benefit consideration are required).

#### Legislation, policy and guidance

The statutory requirement to pay special attention to the desirability of preserving or enhancing the character or appearance of the nearby conservation areas (s.72, 1990 Act) must be taken into account by the local authority in determining this application.

As the application affects the setting of listed buildings the statutory requirements to have special regard to the desirability of preserving listed buildings, their setting and any features of special interest (s.66, Planning (Listed Buildings and Conservation Areas) Act, 1990) must also be taken into account by the local authority when determining this application.

Our advice is provided in line with the National Planning Policy Framework, the NPPF Planning Practice Guide, and in good practice advice notes produced by Historic England on behalf of the Historic Environment Forum including *Managing Significance in Decision-Taking in the Historic Environment*. Further useful guidance is contained within *Historic Environment Good Practice Advice Note: The Setting of Heritage Assets (GPA 3)*.

Paragraph 189 of the NPPF advises that in determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected. Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal taking account of the available evidence and any necessary expertise (NPPF, paragraph 190). Paragraph 190 also states that local authorities should take this assessment into account when considering the impact of a proposal on a heritage asset to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal.



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The NPPF is clear in the requirement to take account of the desirability of sustaining and enhancing the significance of heritage assets (paragraph 192, NPPF). The NPPF goes on to say that when considering the impact of a proposed development on the significance of a designated heritage asset, **great weight** should be given to its conservation, (paragraph 193, NPPF). Any harm or loss to significance '*should require clear and convincing justification*' (paragraph 194, NPPF).

In determining the application your authority will need to consider whether public benefits associated with the scheme outweigh the harm caused by the impact of the proposed new development, as per paragraph 196 of the NPPF.

### **Recommendation**

Historic England has concerns regarding the application on heritage grounds. Your authority should take these representations into account and seek amendments, safeguards or further information as set out in our advice. If, however, you propose to determine the application in its current form, please treat this as a letter of objection, inform us of the date of the committee and send us a copy of your report at the earliest opportunity.

Please contact me if we can be of further assistance.

Yours sincerely



**David Walsh**

Principal Inspector of Historic Buildings and Areas  
E-mail: david.walsh@HistoricEngland.org.uk

cc: Sarah Harrison, City of Lincoln Council  
Dan Burr, Sheppard Robson



## LINCOLNSHIRE POLICE

POLICE HEADQUARTERS  
PO Box 999  
LINCOLN LN5 7PH



Your Ref: App. 2019/1017/FUL

7<sup>th</sup> January 2020

Our Ref: PG//

Planning Department  
City Hall, Beaumont Fee  
Lincoln LN1 1DF

### **House of Fraser, 226 - 231 High Street, Lincoln, Lincolnshire, LN2 1AY**

**Demolition of existing buildings, erection of building consisting of Hotel with ancillary restaurant and bar (Use Class C1) (maximum of 5 storeys), flexible retail (Use Class A1/A2/A3/A4/A5) / leisure uses (Use Class D2), landscaping and associated works.**

Thank you for your correspondence dated 20<sup>th</sup> December 2019 and the opportunity to comment on the proposed development. I have studied the online plans and would request that you consider the following points that if adhered to would help reduce the opportunity for crime and increase the safety and sustainability of the development on this site.

Lincolnshire Police has no formal objections to the planning application.

#### **Hotel Facility**

##### **Reception / Entrances**

This area should be well illuminated and welcoming with the reception staff able to with a clear view of the approaches to the entrance.

I would recommend that the entrance to the reception is an 'air lock' system whereby two sets of doors are used; the first opening will allow a visitor through into a secure vestibule operated by way of controlled form of access with the capacity for entrance to be gained once the first door is secured. Such a considered system will reduce the opportunity for any 'follow through' access by any unwanted access and would provide safety, security and reassurance to staff and guests. The reception should provide suitable staffing or alternative measures or operating systems to allow for 24/7 supervision of security and access to the hotel.

##### **Signage.**

Effective use of directional and informative signage can do much to reduce the opportunity for any persons accessing the site and not knowing where they should be. Site maps and clear directions to the reception or security office will reduce any opportunity for unwarranted trespass on the site.



### **Vehicle parking.**

Vehicle parking should ideally conform to the standards set out by the police service's 'Park-mark' criteria for safer parking, whilst not a requirement for Secure by Design status it is a good standard to achieve.

### **Lighting**

Lighting should be co-ordinated with an effective CCTV system and any light fittings protected against vandalism. The overall lighting scheme should be well considered and evenly distribute light avoiding dark shadows ,provide good colour rendition, and not cause glare or light pollution and effectively support formal and informal surveillance within the hotel.

A good lighting system can be cost effective and ensure that there will be a witness to any intrusion. It should allow staff and guests to feel secure and safe. Importantly it should make intruders feel vulnerable and that there is an increased likelihood of being challenged.

### **Internal Lighting**

It is advised the majority of internal lighting is linked to detection devices that turns lighting on and off as required based on movement activity. This type of system reduces energy consumption and will identify the presence and progress of intruders in the building when closed.

Lighting should be designed to cover all external doors

### **Landscaping**

Boundaries between public and what is private space should be clearly defined and open accessible spaces should not allow for any unintended purpose which may cause any form of anti-social behaviour or nuisance. I would recommend that these spaces are defined clearly by low level (carefully considered) planting of limited growth height and maintenance shrubbery (maximum growth height of 1m).

It is noted that the rear courtyard area presents an open and easy route of access and therefore its recommended that any fixed furniture is so designed to deter any unwanted use of such facilities.

### **External Doors & Windows**

The Secured by Design requirement for all external door sets is PAS 24:2016 (doors of an enhanced security).

All windows must conform to improved security standard BS 7950:1997 All ground floor windows should be laminated safety glazing (BS EN 356 2000 rating P2A) (6.4mm minimum) in windows below 800mm (from floor level) or 1500mm if within 300mm of a doorframe.

All windows should include easily lockable hardware unless a designated fire egress route.

Windows should have secure restraining devices (this is particularly to be recommended on the ground and first floor accommodation to deter and prevent unwanted access. Consideration to top down or bottom up hinges (subject to fire regulations).

### **CCTV System**

A comprehensive monitored CCTV should be included throughout the site with appropriate signage.



Should it be considered appropriate a police response monitored system to with installation to EN 50131-1, (PD6662 Scheme for the implementation of European Standards), or BS 8418 for a detector activated CCTV system.

### **St Peter's Passage – New Courtyard Development**

The use and development of St Peter's Passage has been the subject of significant anti-social behavior and crime in recent years. The proposed development and 'opening up' of this area leading to the proposed courtyard area that would become part of the hotel complex increasing responsible management and importantly increased surveillance would help reduce if not remove such ASB and crime opportunity. It is important that there is continued consultation and appropriate lighting, surveillance, CCTV cover, seating and other fixed furniture within the courtyard are given consideration in regard to their relation with such behavior.

I would support and recommend that where windows are positioned that overlook St Peter's Passage good use of surveillance will significantly help and Improve public behavior in this area.

Please do not hesitate to contact me should you need further information or clarification.

Crime prevention advice is given free without the intention of creating a contract. Neither the Home Office nor the Police Service takes any legal responsibility for the advice given. However, if the advice is implemented it will reduce the opportunity for crimes to be committed.

Yours sincerely,  
John Manuel  
Force Designing Out Crime Officer (DOCO)



## Planning Applications – Suggested Informative Statements and Conditions Report

If you would like to discuss any of the points in this document please contact us on 03456 066087, Option 1 or email [planningliaison@anglianwater.co.uk](mailto:planningliaison@anglianwater.co.uk).

AW Site Reference: 154706/1/0074987

Local Planning Authority: Lincoln District (B)

Site: House Of Fraser 226 - 231 High Street  
Lincoln Lincolnshire LN2 1AY

Proposal: Demolition of existing buildings, erection of building consisting of Hotel with ancillary restaurant and bar (Use Class C1) (maximum of 5 storeys), flexible retail (Use Class A1/A2/A3/A4/A5) / leisure uses (Use Class D2), landscaping and associated w

Planning application: 2019/1017/FUL

**Prepared by:** Pre-Development Team

**Date:** 30 December 2019

## ASSETS

### Section 1 - Assets Affected

There are assets owned by Anglian Water or those subject to an adoption agreement within or close to the development boundary that may affect the layout of the site. Anglian Water would ask that the following text be included within your Notice should permission be granted.

Anglian Water has assets close to or crossing this site or there are assets subject to an adoption agreement. Therefore the site layout should take this into account and accommodate those assets within either prospectively adoptable highways or public open space. If this is not practicable then the sewers will need to be diverted at the developers cost under Section 185 of the Water Industry Act 1991. or, in the case of apparatus under an adoption agreement, liaise with the owners of the apparatus. It should be noted that the diversion works should normally be completed before development can commence.

## WASTEWATER SERVICES

### Section 2 - Wastewater Treatment

The foul drainage from this development is in the catchment of Canwick Water Recycling Centre that will have available capacity for these flows

### Section 3 - Used Water Network

The sewerage system at present has available capacity for these flows. If the developer wishes to connect to our sewerage network they should serve notice under Section 106 of the Water Industry Act 1991. We will then advise them of the most suitable point of connection. (1) INFORMATIVE - Notification of intention to connect to the public sewer under S106 of the Water Industry Act Approval and consent will be required by Anglian Water, under the Water Industry Act 1991. Contact Development Services Team 0345 606 6087. (2) INFORMATIVE - Protection of existing assets - A public sewer is shown on record plans within the land identified for the proposed development. It appears that development proposals will affect existing public sewers. It is recommended that the applicant contacts Anglian Water Development Services Team for further advice on this matter. Building over existing public sewers will not be permitted (without agreement) from Anglian Water. (3) INFORMATIVE - Building near to a public sewer - No building will be permitted within the statutory easement width of 3 metres from the pipeline without agreement from Anglian Water. Please contact Development Services Team on 0345 606 6087. (4) INFORMATIVE: The developer should note that the site drainage details submitted have not been approved for the purposes of adoption. If the developer wishes to have the sewers included in a sewer adoption agreement with Anglian Water (under Sections 104 of the Water Industry Act 1991), they should contact our Development Services Team on 0345 606 6087 at the earliest opportunity. Sewers intended for adoption should be designed and constructed in accordance with Sewers for Adoption guide for developers, as supplemented by Anglian Water's requirements.

### Section 4 - Surface Water Disposal

The preferred method of surface water disposal would be to a sustainable drainage system (SuDS) with connection to sewer seen as the last option. Building Regulations (part H) on Drainage and Waste Disposal for England includes a surface water drainage hierarchy, with infiltration on site as the preferred disposal option, followed by discharge to watercourse and then connection to a sewer.

From the details submitted to support the planning application the proposed method of surface water management does not relate to Anglian Water operated assets. As such, we are unable to provide comments on the suitability of the surface water management. The Local Planning Authority should seek the advice of the Lead Local Flood Authority or the Internal Drainage Board. The Environment Agency should be consulted if the drainage system directly or indirectly involves the discharge of water into a watercourse. Should the proposed method of surface water management change to include interaction with Anglian Water operated assets, we would wish to be re-consulted to ensure that an effective surface water drainage strategy is prepared and implemented.

## **Consultee Details**

Name: Ms Catherine Waby

Address: St Mary's Guildhall, 385 High Street, Lincoln LN5 7SF

Email: lincolncivictrust@btconnect.com

On Behalf Of: Lincoln Civic Trust

## **Comments**

**OBJECTION:** The site is well overdue redevelopment and so the committee do not object in principle to the complete demolition and re-build in this significant part of the City. It will obviously very difficult to achieve this without too much disruption to the surrounding businesses and to the City life in general. We are obviously saddened by the loss of a major retail offering right in the heart of the City but appreciate that given the current decline in the retail trade, particularly the high-end department stores, that this sort of change is inevitable.

We, however, question the wisdom of converting the major part of the site into a hotel. Whilst the move away from private to more environmentally friendly modes of transport is in the current and long term best interests of society, we are concerned that the future viability of a hotel, particularly a 4 star hotel, which will be dependent on visitors from outside of Lincoln, that a hotel without car parking or it would appear any facility to provide an alternative system (remote parking and park & ride), is destined to struggle to be financially viable. Furthermore a building specifically designed for hospitality, will not be easily converted into any other form of activity.

Further points to make are:

1. The drop-off point for taxis, tour buses etc, should be on the hotel side (North) of Mint Street and this would require a re-design of the road structure in the area. As the proposal is to set the building line further back on Mint Street this could easily be achieved. Alternatively, the design should encompass a drop-off facility within the actual site itself.
2. Although the design of the building is pleasing, we feel that given its prominence on High Street, an opportunity to make a real presence has not been achieved and with a little imagination, it could make a significant statement to this part of High Street. This area is still seen as the ultimate City Centre and hence the buildings should have a significant presence.
3. We applaud the building design on Mint Lane and on to Mint Street but feel that the arrangements for deliveries etc needs more consideration. A single delivery point via a narrow entrance off a busy but narrow street, needs further thought.
4. We further note that there appears to be no rear entrances to the retail premises on High Street and hence all deliveries and refuse disposal will have to be done on High Street with the inevitable time restrictions applied being within the pedestrian zone.
5. We would also question the purpose of keeping St Peters Passage as a through route given the anti-social behavioural problems that have blighted the area for some years. With the proximity of various large drinking establishments and allowing for the provision of security measures such as CCTV, the area will continue to attract an element of anti-social behaviour and to allow access late in the evening, is not going to assist in containing the problem. The pedestrian access provision in the area is adequately provided for by use of High Street, Park Street, Mint Street and Mint Lane.



<b>Application Number:</b>	2019/0961/FUL
<b>Site Address:</b>	128-130 Carholme Road, Lincoln, Lincolnshire
<b>Target Date:</b>	4th March 2020
<b>Agent Name:</b>	JMF Chartered Architects
<b>Applicant Name:</b>	Mr Gelder
<b>Proposal:</b>	Erection of a three storey building to accommodate 15 apartments with parking and associated landscaping (Revised Plans).

**Background - Site Location and Description**

The application is for the erection of a three storey building to accommodate 15 apartments with parking and associated landscaping. The proposal would be on land previously occupied by the commercial building trading as Jack Machin Motorcycles at 128-130 Carholme Road which has since been demolished. The site is situated on the southern side of the road on the corner with Derwent Street.

Outline permission has previously been approved on the site (2017/0236/OUT) for 14 apartments. Which set out the acceptability of the principal of development on this site along with some outline development parameters.

**Site History**

2019/0620/PAD – Prior Approval for the demolition of the motorcycle store on the site.

2017/0236/OUT - Erection of a building to accommodate 14 self-contained apartments with 14 associated parking spaces (Outline including details of access to be considered)

**Case Officer Site Visit**

Undertaken on various dates prior to the submission of the application. No site visit has been carried out since the Covid 19 limits have been put in place.

**Policies Referred to**

- National Planning Policy Framework
- Central Lincolnshire local Plan Policy LP26 – Design and Amenity

**Issues**

- Principle of the development
- Visual amenity and proposed design
- Residential amenity
- Technical matters
  - Flood Risk
  - Land contamination
  - S106

**Consultations**

Consultations were carried out in accordance with the Statement of Community

Involvement, adopted May 2014.

### **Statutory Consultation Responses**

Consultee	Comment
Councillor Lucinda Preston	Comments Received
Lincolnshire Police	Comments Received
Lincoln Civic Trust	Comments Received
Education Planning Manager, Lincolnshire County Council	Comments Received
Anglian Water	Comments Received
Upper Witham, Witham First District & Witham Third District	Comments Received
Environment Agency	Comments Received
Highways & Planning	Comments Received
West End Residents Association	No Response Received

### **Public Consultation Responses**

Name	Address
Mr Christopher Gresham	32 Derwent Street Lincoln Lincolnshire LN1 1SL
Dr Apostolos Papadopoulos	14 Roman Wharf Lincoln Lincolnshire LN1 1SR
Ms Rebecca Warrington	Carholme Road Lincoln LN1 1SP

Mrs H Cann	Derwent Street Lincoln LN1 1SL
John And Lynn Houtby	2A Derwent Street Lincoln Lincolnshire LN1 1SL

## **Consideration**

### The Principle of the development

The application site lies within the Carholme Road Character Area. Policy LP26 of the Plan requires that “all development, including extensions and alterations to existing buildings, must achieve high quality sustainable design that contributes positively to local character, landscape and townscape, and supports diversity, equality and access for all.” The policy includes 12 detailed and diverse principles which should be assessed. This policy is supported by Policy LP5 which also refers to the impact on the character and appearance of the area.

The application site is located within an area of Carholme Road that is essentially residential in character and has more of a suburban feel with semi-detached houses set back from the back edge of the pavement, on the Carholme Road frontage. To the rear along the side streets the character is more of a uniform terraced nature.

At the point of determining the Outline application, officers were satisfied that the site could ultimately be developed for housing in a manner that would be appropriate in the context of the established form of development.

### Visual Amenity and Proposed Design

The proposed development has been significantly redesigned from the original submission. This was due to officer feedback as well as comments received through the consultation process.

The proposed design is characterised by a number of projecting bay features. These would be articulated in render against a proposed traditional red brick for the remainder of the builder. Bay windows are a key characteristic found in the Carholme Road character area and the proposed development using this with a modern interpretation. The original design for this site used a buff brick. It was considered that a buff brick would look too commercial and that a red brick is much more characteristic of residential properties in this area. The final brick can be secured by condition but the Planning Authority are comfortable that a good quality brick can be secured.

The projecting bays and the recessed stairwells break up the mass of the elevation fronting Carholme Road and allows the building to read as a series of properties rather than a mass of windows. This design approach is continued along the Derwent Street elevation.

The proposals would measure 9metres to the top of the projecting bays and 8.5metres to the roofline of the building. Whilst this is taller than the adjacent buildings on Carholme

Road, when read in the context of the whole street the height does not stand out or feel uncomfortable in design terms, however the impact of the height on residential amenity would need to be assessed.

### Residential Amenity

Policy LP26 of the Plan deals with design and amenity. The amenities which all existing and future occupants of neighbouring land and buildings may reasonably expect to enjoy and suggests that these must not be unduly harmed by, or as a result of, the development. There are nine specific criteria which must be considered.

A number of objections have been received from local residents with regards the impact of the proposed development on local residents. Some of these are technical matters which are addressed elsewhere in this report, however a number of the objections relate to the impact the development could have on the amenity currently enjoyed by neighbours of nearby properties.

The occupants of 2a Derwent Street have raised the issue of the proposed height of the building and the impact this would have in terms of overlooking into their property. 2a Derwent Street is located on the west side of the street opposite the proposed development. The southern part of the proposed development has the vehicular access at ground floor and 2 storeys of apartments above. The layout of the proposal has bedrooms looking out to Derwent Street. Therefore the bedroom to bedroom, across the street, is fairly typical of a residential street and it is not considered that this would create an incompatible relationship. The proposed development will be higher than the traditional properties in the area, however this in itself does not necessarily cause harm to existing residents.

Letters have been received citing the impact on 14 Roman Wharf. This property is located to the east of the development site on the next street. Whilst the proposed development is higher than the adjacent properties on Carholme Road and Roman Wharf, it is of sufficient distance that the additional height would have limited impact on light to the next street. There is also sufficient distance that there would be no overlooking from the proposed development.

The loss of a commercial property has been raised as an issue with the proposed scheme. In planning terms the loss of the commercial property has already been approved through the principal of development through the outline permission and the permission to demolish the commercial property. The development of residential accommodation in a residential area is also recognised as being acceptable in planning terms.

Due to the close proximity to neighbours, there is potential for problems due to noise from the construction phase of the development, particularly during the noise sensitive hours. Therefore if permission is granted a condition should be included to restrict the hours of development between the hours of 08:00 to 18:00 Monday to Friday (inclusive) and 08:00 to 13:00 on Saturdays. However the development in itself would not result in an adverse impact on noise as referenced in one of the objections. The use is residential and there is no reason that this would create any more noise than the previous commercial development in this location.

### Highways

The proposal includes 15 car parking spaces which are accessed via Derwent Street and an access to the southern corner of the site. The proposal also includes for secure cycle parking spaces.

Whilst it is acknowledged that the proposed development, when considered in isolation, is unlikely to have any significant impact on air quality, the numerous minor and medium scale developments within the city will have a significant cumulative impact if reasonable mitigation measures are not adopted. Paragraph 110 of the NPPF states “....applications for development....should be designed to enable charging of plug-in and other ultra-low emission vehicles in safe, accessible and convenient locations” Therefore it is recommended that the applicant be required to incorporate appropriate electric vehicle recharge points into the development in line with the recommendations of paragraph 110 of the NPPF. This could be secured by condition.

A number of objections have been received from neighbours which cite highways safety issues with the scheme. The Highways Authority have been consulted on the application and have raised no objections to the proposed scheme. There have been no adverse comments with regards to highway safety or highway capacity. They have asked for a series of conditions which can be used to secure the technical works proposed.

There are no reasons to refuse the application on highway safety grounds.

#### Flood Risk and Surface Water Drainage

The finished floor levels for the proposed development will be set at 5.8metres AOD with the existing site levels ranging between 5.28m AOD and 5.44m AOD. The Environment Agency have considered these levels alongside their own hazard mapping and consider the application, along with the proposed flood risk mitigation to be acceptable. These mitigation measures could be secured by condition.

#### S106

In accordance with Policy LP11 of the Local Plan, 25% affordable housing will be sought on the development. The application will also be liable for a Local Green Infrastructure, Health and Education contributions if requested.

As the development is situated within the Carholme Ward the applicants are required to enter into an agreement that none of the apartments will be occupied by students. The applicants have agreed to this request.

The S106 will need to be signed before a decision can be issued on the application. This legal process is currently ongoing.

#### Land Contamination

Due to past uses on and in the vicinity of the site there is the potential for significant contamination to be present. It is recommended that any permission includes a number of conditions to secure a contaminated land risk assessment along with any required remediation.

#### Conclusion

The proposed application has been assessed against policies set out in the Central Lincolnshire Local Plan as well as the overarching themes of the National Planning Policy Framework. The scheme has undergone a number of design changes since its original submission and officers are now satisfied that the proposals reflect the character of the area with a modern interpretation. The impacts on neighbours have been assessed and there no adverse impacts on the amenity currently enjoyed by residents. Technical matters have been addressed and can be secured by condition or through the signing of the S106 agreement.

### **Application Determined within Target Date**

Yes – with an extension of time agreed.

### **Recommendation**

That the application is Granted Conditionally subject to the signing of the S106 agreement.

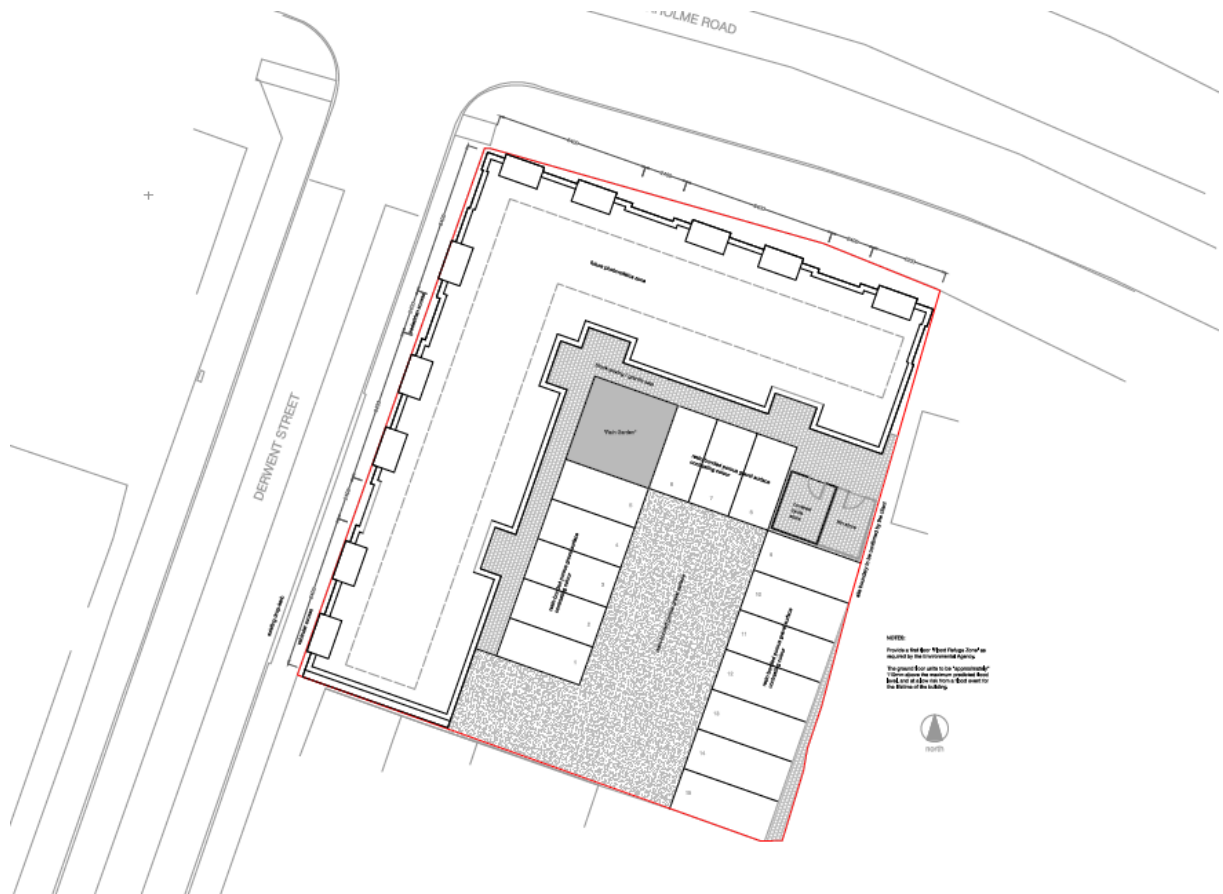
### **Conditions**

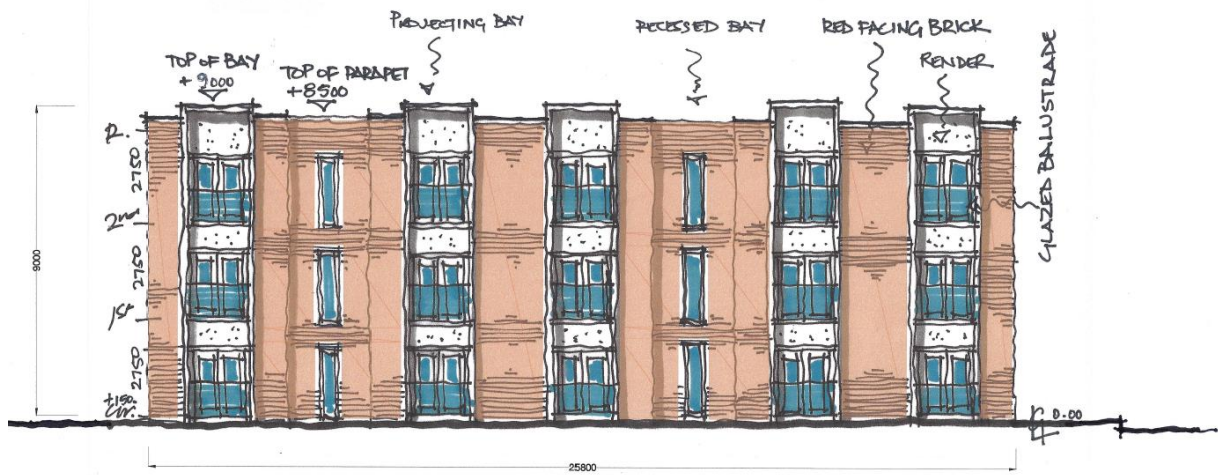
- Construction hours
- Contaminated land
- Highways
- External lighting
- Electric charging points
- Samples of all materials
- Plans
- Construction to commence within 3 years
- Finished floor levels
- Surface water drainage

All relevant drawings are attached to your report but the full set of drawings and representations are available to view on the website. We would encourage you to visit the website for the fullest picture of the detail available with the application.

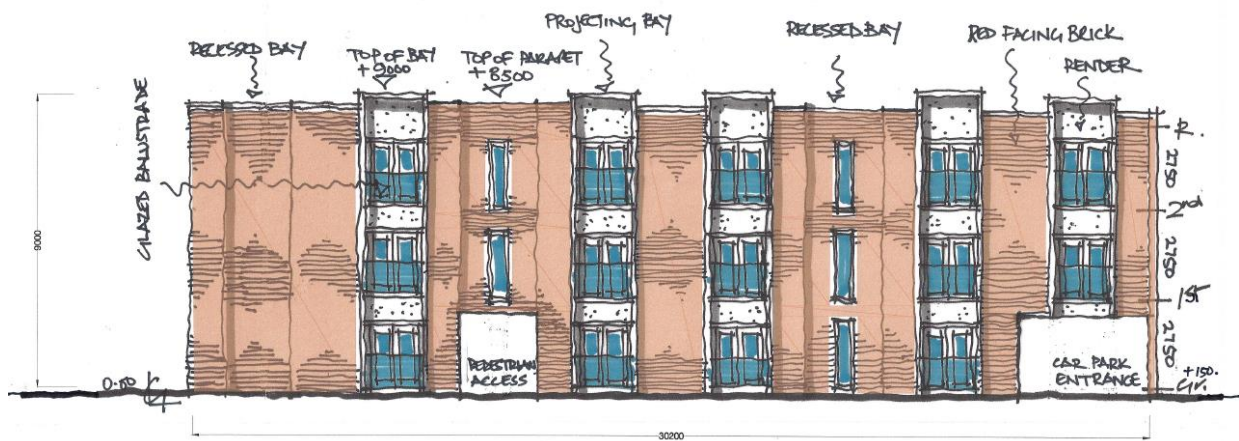
<https://development.lincoln.gov.uk/online-applications/applicationDetails.do?keyVal=Q1QN8PJFM4K00&activeTab=summary>

# Plans





CARHOLME ROAD ELEVATION



DERWENT STREET ELEVATION



CARHOLME ROAD ELEVATION



DERWENT STREET ELEVATION





CARHOLME ROAD REAR ELEVATION



DERWENT STREET REAR ELEVATION

Photos (taken by the applicant as part of the Design and Access statement)



Carholme Road - East view



Derwent Street view



Carholme Road - West view



Vehicle access off Derwent Street

Place Directorate  
Lancaster House  
36 Orchard Street  
Lincoln LN1 1XX  
Tel: (01522) 782070



To: Lincoln City Council

Application Ref: 2019/0961/FUL

Description of development

**Erection of a three storey building to accommodate 15 apartments with parking and associated landscaping**

Address or location

**128-130 Carholme Road, Lincoln, Lincolnshire, LN1 1SH**

With reference to the above application received 5 December 2019

Notice is hereby given that the County Council as Local Highway and Lead Local Flood Authority:

**Requests that any permission given by the Local Planning Authority shall include the conditions below.**

#### CONDITIONS (INCLUDING REASONS)

##### Highway Informative 08

Please contact the Lincolnshire County Council Streetworks and Permitting Team on 01522 782070 to discuss any proposed statutory utility connections and any other works which will be required within the public highway in association with the development permitted under this Consent. This will enable Lincolnshire County Council to assist in the coordination and timings of these works.

##### Highway Condition 12

Within seven days of the new access being brought into use, the existing accesses onto Derwent Street and Carholme Road shall be permanently closed and returned to footway construction with full height kerbs in accordance with a scheme to be agreed in writing by the Local Planning Authority.

Reason: To remove vehicle access points in the public highway that are not required and no longer serve their intended use.

##### Highway Condition 33

The permitted development shall be undertaken in accordance with a surface water drainage scheme which shall first have been approved in writing by the Local Planning Authority.

The scheme shall:

- be based on sustainable drainage principles and an assessment of the hydrological and hydrogeological context of the development;
- provide details of how run-off will be safely conveyed and attenuated during storms up to

and including the 1 in 100 year critical storm event, with an allowance for climate change, from all hard surfaced areas within the development into the existing local drainage infrastructure and watercourse system without exceeding the run-off rate for the undeveloped site;

- provide details of the timetable for and any phasing of implementation for the drainage scheme; and
- provide details of how the scheme shall be maintained and managed over the lifetime of the development, including any arrangements for adoption by any public body or Statutory Undertaker and any other arrangements required to secure the operation of the drainage system throughout its lifetime.

No dwelling shall be occupied until the approved scheme has been completed or provided on the site in accordance with the approved phasing. The approved scheme shall be retained and maintained in full, in accordance with the approved details.

Reason: To ensure that the permitted development is adequately drained without creating or increasing flood risk to land or property adjacent to, or downstream of, the permitted development.

Case Officer:

*Becky Melhuish*  
for Warren Peppard  
Head of Development

Date: 19 December 2019



## LINCOLNSHIRE POLICE

POLICE HEADQUARTERS  
PO Box 999  
LINCOLN LN5 7PH  
Fax: (01522) 558128  
DDI: (01522) 558292  
email  
john.manuel@lincs.pnn.police.uk

Your Ref: App. 2019/0961/FUL

15<sup>th</sup> April 2020

**Development & Environmental Services**  
City Hall, Beaumont Fee  
Lincoln, LN1 1DF

**128-130 Carholme Road, Lincoln, Lincolnshire, LN1 1SH**

**Erection of a three storey building to accommodate 15 apartments with parking and associated landscaping.**

Thank you for your correspondence and opportunity to comment on the proposed development.

Lincolnshire Police has no formal objections to the planning application.

However it is disappointing that the developer has not taken heed of the advice to address issues of both unrestricted pedestrian and vehicular access to the site. Failure to address the advice may result in a risk to resident's vehicles and equally unwanted access to the inner courtyard/ parking area with further access to the fabric of the building.

It is not clear what arrangements have been included to address the secure delivery of mail or access control to the apartments themselves.

Point of Reference – Secured by Design Homes 2019 (Version 2, March 2019)

27.16

*All communal dwellings with 10 flats, apartments, bedsits or individual bedrooms, or more should have a visitor door entry system and access control system to enable management oversight of the security of the building i.e. to control access to the building via the management of a recognised electronic key system.*

21.27

*There are increasing crime problems associated with letter plate apertures, such as identity theft, arson, hate crime, lock manipulation and 'fishing' for personal items (which may include post, vehicle and house keys, credit cards etc). In order to address such problems SBD strongly recommends where possible, mail delivery via a secure external mail box meeting the requirements of the Door and Hardware Federation standard Technical Standard 009 (TS009) or delivery through wall into a secure area of the dwelling. These should be easily accessible i.e. at a suitable height for arrange of users.*

Secured by Design does not recognise the vagaries of the term 'the principles of Secured by Design' but does appreciate the application of the guidance and actuality and application of the design guide together with the localised advice of Lincolnshire Police.

I would direct and recommend that the current *NPCC CPI Homes 2019* is referred to as a source document in the planning and design process

Please do not hesitate to contact me should you need further information or clarification.

Please refer to *Commercial Guide 2015 & Homes 2019* which can be located on [www.securedbydesign.com](http://www.securedbydesign.com)

Crime prevention advice is given free without the intention of creating a contract. Neither the Home Office nor the Police Service takes any legal responsibility for the advice given. However, if the advice is implemented it will reduce the opportunity for crimes to be committed.

Yours sincerely,

John Manuel MA BA (Hons) PGCE PGCPD Dip Bus.  
Force Designing Out Crime Officer (DOCO)

## **Consultee Comments for Planning Application 2019/0961/FUL**

### **Application Summary**

Application Number: 2019/0961/FUL

Address: 128-130 Carholme Road Lincoln Lincolnshire LN1 1SH

Proposal: Erection of a three storey building to accommodate 15 apartments with parking and associated landscaping.

Case Officer: Lana Meddings

### **Consultee Details**

Name: Ms Catherine Waby

Address: St Mary's Guildhall, 385 High Street, Lincoln LN5 7SF

Email: [lincolncivictrust@btconnect.com](mailto:lincolncivictrust@btconnect.com)

On Behalf Of: Lincoln Civic Trust

### **Comments**

**OBJECTION:** We have the same concerns we had when the outline planning permission was applied for in 2017. The application is for a three storey building where all the buildings in this predominately residential area are two storey with maybe some dormer windows. We feel that the residential feel of the area should be maintained. Having said that, the design of the blocks is appalling and should be rejected on that basis alone. The design is certainly not in keeping with the area and totally destroys area residential feel for the area. We would also echo some of the concerns over the fact that the proposal seeks to build right to the path edge and hence dominates the street scene at this point and creates difficulty for vehicles trying to get out of Derwent Street on to Carholme Road. We consider this to be an overdevelopment of the site.

Mr Kieron Manning,  
Planning Department,  
City of Lincoln Council,  
City Hall,  
LINCOLN LN1 1LA

Re: Planning application for 128-130 Carholme Road LN1 1SH

Dear Mr Manning,

I would like to make the following objection to this property development.

Whilst new housing in the ward is always welcome I feel that this development does not have sufficient parking for the number of apartments being built. Residents already experience problems with parking in nearby streets, especially Severn Street and Derwent Street: often they struggle to find a parking spot. If the apartments contain households with more than one car I can foresee these problems increasing.

I am not against a development on the site per se but a reduced number of apartments with more parking spaces available would be far preferable and a more sensible option giving the parking limitations in the area.

Yours sincerely,  
Cllr Lucinda Preston  
Carholme ward, Lincoln City Council



City of Lincoln Council  
Development Control  
City Hall Beaumont Fee  
Lincoln  
LN1 1DF

**Our ref:** AN/2019/129898/02-L02  
**Your ref:** 2019/0961/FUL  
**Date:** 12 February 2020

### FAO Lana Meddings

Dear Lana

### Erection of a three storey building to accommodate 15 apartments with parking and associated landscaping 128-130 Carholme Road, Lincoln, LN1 1SH

Thank you for re-consulting us with emails dated 13 January and 27 January 2020 from the applicant's agent.

#### Environment Agency position

In our consultation response of 18 December 2019 we objected to the application as the Flood Risk Assessment did not fully identify the risks to the site and did not confirm the proposed finished floor levels. The elevation drawings showed floor levels 150mm above ground level but it was unclear whether this ground level was to be the same as existing. Based on the information available to us it appeared that additional mitigation would be necessary.

The second email above confirms that finished floor levels will be set at 5.8m AOD, with existing site levels ranging between 5.28m AOD and 5.44m AOD. Considering these levels alongside our Lincoln hazard mapping, we judge the proposed mitigation to be adequate. We therefore **withdraw** our objection subject to the imposition of the following planning condition.

#### Condition

Finished floor levels shall be set no lower than 5.80m above Ordnance Datum (AOD)

#### Reason

To reduce the risk of flooding to the proposed development and future occupants.

We strongly advise that a flood warning and evacuation plan is produced for the development in order to address the residual risks of flooding at the site and to confirm the approach that will be taken for safe evacuation of the building if necessary.

Ceres House, Searby Road, Lincoln, LN2 4DW  
Customer services line: 03708 506 506  
Email: [LNplanning@environment-agency.gov.uk](mailto:LNplanning@environment-agency.gov.uk)  
[www.gov.uk/environment-agency](http://www.gov.uk/environment-agency)

Calls to 03 numbers cost no more than national rate calls to 01 or 02 numbers and count towards any inclusive minutes in the same way. This applies to calls from any type of line including mobile.

Cont/d..

We also recommend the use of appropriate flood resilience measures at ground floor. Further information is available in [Improving the flood performance of new buildings: flood resilient construction](#).

Please note that our advice covers the risk of flooding from fluvial sources only.

As you are aware the discharge and enforcement of planning conditions rests with your Authority. It is, therefore, essential that you are satisfied that the proposed draft condition meets the requirements of the Planning Practice Guidance (Use of planning conditions section, paragraph 004). Please notify us immediately if you are unable to apply our suggested condition, as we may need to tailor our advice accordingly.

Should you require any additional information, or wish to discuss these matters further, please do not hesitate to contact me on the number below.

Yours sincerely

**Nicola Farr**  
**Sustainable Places - Planning Advisor**

Direct dial 02030 255023  
Direct e-mail [nicola.farr@environment-agency.gov.uk](mailto:nicola.farr@environment-agency.gov.uk)



## Planning Applications – Suggested Informative Statements and Conditions Report

If you would like to discuss any of the points in this document please contact us on 03456 066087, Option 1 or email [planningliaison@anglianwater.co.uk](mailto:planningliaison@anglianwater.co.uk).

AW Site Reference: 154257/1/0074064

Local Planning Authority: Lincoln District (B)

Site: 128-130 Carholme Road, Lincoln, Lincolnshire, LN1 1SH

Proposal: Erection of a three storey building to accommodate 15 apartments with parking and associated landscaping

Planning application: 2019/0961/FUL

**Prepared by:** Pre-Development Team

**Date:** 11 December 2019

### ASSETS

#### Section 1 - Assets Affected

There are assets owned by Anglian Water or those subject to an adoption agreement within or close to the development boundary that may affect the layout of the site. Anglian Water would ask that the following text be included within your Notice should permission be granted.

Anglian Water has assets close to or crossing this site or there are assets subject to an adoption agreement. Therefore the site layout should take this into account and accommodate those assets within either prospectively adoptable highways or public open space. If this is not practicable then the sewers will need to be diverted at the developers cost under Section 185 of the Water Industry Act 1991. or, in the case of apparatus under an adoption agreement, liaise with the owners of the apparatus. It should be noted that the diversion works should normally be completed before development can commence.

### WASTEWATER SERVICES

#### Section 2 - Wastewater Treatment

The foul drainage from this development is in the catchment of canwick Water Recycling Centre that will have available capacity for these flows

### Section 3 - Used Water Network

The sewerage system at present has available capacity for these flows. If the developer wishes to connect to our sewerage network they should serve notice under Section 106 of the Water Industry Act 1991. We will then advise them of the most suitable point of connection. (1) **INFORMATIVE** - Notification of intention to connect to the public sewer under S106 of the Water Industry Act Approval and consent will be required by Anglian Water, under the Water Industry Act 1991. Contact Development Services Team 0345 606 6087. (2) **INFORMATIVE** - Protection of existing assets - A public sewer is shown on record plans within the land identified for the proposed development. It appears that development proposals will affect existing public sewers. It is recommended that the applicant contacts Anglian Water Development Services Team for further advice on this matter. Building over existing public sewers will not be permitted (without agreement) from Anglian Water. (3) **INFORMATIVE** - Building near to a public sewer - No building will be permitted within the statutory easement width of 3 metres from the pipeline without agreement from Anglian Water. Please contact Development Services Team on 0345 606 6087. (4) **INFORMATIVE**: The developer should note that the site drainage details submitted have not been approved for the purposes of adoption. If the developer wishes to have the sewers included in a sewer adoption agreement with Anglian Water (under Sections 104 of the Water Industry Act 1991), they should contact our Development Services Team on 0345 606 6087 at the earliest opportunity. Sewers intended for adoption should be designed and constructed in accordance with Sewers for Adoption guide for developers, as supplemented by Anglian Water's requirements.

### Section 4 - Surface Water Disposal

The preferred method of surface water disposal would be to a sustainable drainage system (SuDS) with connection to sewer seen as the last option. Building Regulations (part H) on Drainage and Waste Disposal for England includes a surface water drainage hierarchy, with infiltration on site as the preferred disposal option, followed by discharge to watercourse and then connection to a sewer.

The surface water strategy/flood risk assessment submitted with the planning application relevant to Anglian Water is unacceptable. No evidence has been provided to show that the surface water hierarchy has been followed as stipulated in Building Regulations Part H. This encompasses the trial pit logs from the infiltration tests and the investigations in to discharging to a watercourse. If these methods are deemed to be unfeasible for the site, we require confirmation of the intended manhole connection point and discharge rate proposed before a connection to the public surface water sewer is permitted. We would therefore recommend that the applicant needs to consult with Anglian Water and the Environment Agency. We request that the agreed strategy is reflected in the planning approval.

### Section 5 - Suggested Planning Conditions

Anglian Water would therefore recommend the following planning condition if the Local Planning Authority is mindful to grant planning approval.

#### Surface Water Disposal (Section 4)

**CONDITION** No drainage works shall commence until a surface water management strategy has been submitted to and approved in writing by the Local Planning Authority. No hard-standing areas to be constructed until the works have been carried out in accordance with the surface water strategy so approved unless otherwise agreed in writing by the Local Planning Authority. **REASON** To prevent environmental and amenity problems arising from flooding.

**FOR THE ATTENTION OF THE APPLICANT - if Section 3 or Section 4 condition has been recommended above, please see below information:**

**Next steps**

Desktop analysis has suggested that the proposed development will lead to an unacceptable risk of flooding downstream. We therefore highly recommend that you engage with Anglian Water at your earliest convenience to develop in consultation with us a feasible drainage strategy.

If you have not done so already, we recommend that you submit a Pre-planning enquiry with our Pre-Development team. This can be completed online at our website <http://www.anglianwater.co.uk/developers/pre-development.aspx>

Once submitted, we will work with you in developing a feasible mitigation solution.

If a foul or surface water condition is applied by the Local Planning Authority to the Decision Notice, we will require a copy of the following information prior to recommending discharging the condition:

**Surface water:**

- Feasible drainage strategy agreed with Anglian Water detailing the discharge solution, including:
  - Development hectare size
  - Proposed discharge rate (Our minimum discharge rate is 5l/s. The applicant can verify the site's existing 1 in 1 year greenfield run off rate on the following HR Wallingford website -<http://www.uksuds.com/drainage-calculation-tools/greenfield-runoff-rate-estimation> . For Brownfield sites being demolished, the site should be treated as Greenfield. Where this is not practical Anglian Water would assess the roof area of the former development site and subject to capacity, permit the 1 in 1 year calculated rate)
  - Connecting manhole discharge location
- Sufficient evidence to prove that all surface water disposal routes have been explored as detailed in the surface water hierarchy, stipulated in Building Regulations Part H (Our Surface Water Policy can be found on our website)

Neighbour Responses

Hi

Below is my previous email and I would like to add the following

After receiving the latest revised plans I find only the colour of the brickwork and some minor alterations have been altered.

We still have concerns regarding the height of this proposed building which will be overlooking our property.

I find with the latest planning that they haven't took into consideration our families concerns about the height of the property. This would also be a metre closer to the footpath/nearer to my property.

I would like to be consulted at the next planning meeting

Look forward to hearing from you shortly.

Kind regards  
John Houtby

Your reference: 2019/0961/FUL

Hi

I live at 2a Derwent Street and have done so for over 45 years.

After receiving the new planning application for the above location, I am very concerned that the new plans for this development have been altered from the two previous ones, which were granted when Jack Machin applied.

Directly opposite my property the plans have always shown that only a two story dwelling could put directly opposite my property. This on two occasions was passed by the planning committee. On the new proposed plans by the new owners, they now want to go three story's high directly across from my property. We are very concerned they will then be able to look directly down into our living room and also the two front bedrooms.

I am asking the planning committee to only allow two storeys opposite my property and up to three story's towards Carholme Road, which has previously been the case on the last two applications that have been passed by the council.

Also the shape and the colour of the new proposed building is nothing like anything down Carholme Road. I am very concerned about this.

I would like the opportunity if possible, to be allowed to voice my opinion at any planning committee.

I look forward to receiving your reply.

Kind regards

John & Lynn Houtby

2a Derwent Street

Lincoln

LN1 1SL

## **Comments for Planning Application 2019/0961/FUL**

### **Application Summary**

Application Number: 2019/0961/FUL

Address: 128-130 Carholme Road Lincoln Lincolnshire LN1 1SH

Proposal: Erection of a three storey building to accommodate 15 apartments with parking and associated landscaping.

Case Officer: Lana Meddings

### **Customer Details**

Name: Mrs H Cann

Address: Derwent Street Lincoln

### **Comment Details**

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Whilst I support the development of housing in the City and the redevelopment of a currently unattractive site, I wish to object to the siting of the buildings so close to the Carholme Road edge of the site.

I live in Derwent Street and find this already a dangerous junction to exit by car, but even more so by bicycle. Because of the busy road, cycle users including children often use the Carholme Road pavement and need to be visible to road users exiting Derwent Street including the additional car traffic from the new flats.

Traffic is usually heavy but flowing on Carholme Road and good visibility is needed to plan when it is safe to exit Derwent Street. I feel that these buildings being so far forwards towards the pavement restricts visibility and will make the junction unsafe. It also makes the new development more visually prominent as it sticks out further forward than the buildings either side. Please could the building line be moved back so that it is in line with Harvest House and 132/134 Carholme Road, and 1-3 Derwent Street.

## **Comments for Planning Application 2019/0961/FUL**

### **Application Summary**

Application Number: 2019/0961/FUL

Address: 128-130 Carholme Road Lincoln Lincolnshire LN1 1SH

Proposal: Erection of a three storey building to accommodate 15 apartments with parking and associated landscaping.

Case Officer: Lana Meddings

### **Customer Details**

Name: Mr Christopher Gresham

Address: 32 Derwent Street Lincoln

### **Comment Details**

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I am concerned that the building line on the north and west side of this building have been extended from the original building, to the extents of the plot.

This will make exiting and entering Derwent Street dangerous. This road is regularly the subject of mobile speed cameras due to the common problem of speeding vehicles.

When exiting Derwent Street to the right there will only be a view of 60mtrs due to the bend in the road and the building line of the development. A vehicle travels 60Mtrs in less than 5 seconds at 30mph, will 5 seconds be enough time to check the road is clear, make the decision to cross the road and then actually cross it? This is a very busy main road into the centre of Lincoln.

When entering Derwent St from the City centre the problem will be greater as vehicles leaving Derwent Street are in the centre of the street as they approach Carholme Road. Drivers will have to almost stop on Carholme Road to check that Derwent Street is clear. To make entering Derwent safe 4 or 6 parking spaces may have to be lost.

There is also the usual problem that are too many flats for the parking provided.

The building of 3 stories with a flat roof line and inappropriate colour is out of character with the rest of the area.

To soften the look maybe the 2nd floor flats facing on to Carholme Road could have dormers to make them 3 bedroom flats. the flats over the vehicular access should not have the top flat so as not to dominate Derwent Street.

I would like to voice my opinion at the planning committee meetings.

## **Comments for Planning Application 2019/0961/FUL**

### **Application Summary**

Application Number: 2019/0961/FUL

Address: 128-130 Carholme Road Lincoln Lincolnshire LN1 1SH

Proposal: Erection of a three storey building to accommodate 15 apartments with parking and associated landscaping.

Case Officer: Lana Meddings

### **Customer Details**

Name: Dr Apostolos Papadopoulos

Address: 14 Roman Wharf Lincoln

### **Comment Details**

Commenter Type: Neighbour

Stance: Customer made comments neither objecting to or supporting the Planning Application

Comment Reasons:

Comment: Dear recipient,

Thanks for giving me the opportunity to comment on the proposed development with Ref 2019/0961/FUL.

I have now reviewed the application and I would like to raise my concern in regard to "right to light" for the neighborhood and that of the 14 Roman Wharf. The building to be erected is taller than the current and the "right to light" has to be considered, calculated and follow the regulations.

Further, I would like to comment that the conversion of a commercial property to a residential will reduce the potential of the area to be upgraded and uplifted by a commercial operation. For instance, if a commercial property such as a chain or a local enterprise (Start-up Offices, Fastfood, Supermarket etc) was to be continued then the area would be benefited.

The lighting of the building has to be considered as if it is lit at night then it can be too bright for the neighboring houses including that of 14 Roman Wharf.

During construction the noise and disruptions have to be considered and aim to minimise those and informing the neighborhood of the length of the construction.

I look forward to receiving the acknowledgement of this letter.

Best wishes for a happy healthy and prosperous year!

## **Comments for Planning Application 2019/0961/FUL**

### **Application Summary**

Application Number: 2019/0961/FUL

Address: 128-130 Carholme Road Lincoln Lincolnshire LN1 1SH

Proposal: Erection of a three storey building to accommodate 15 apartments with parking and associated landscaping.

Case Officer: Lana Meddings

### **Customer Details**

Name: Ms Rebecca Warrington

Address: Carholme Road Lincoln

**Comment Details**

Commenter Type: Member of the Public

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: This proposal is ludicrous. It is grossly over development and somewhat ugly. This is a main arterial route into Lincoln and as a Local Planning authority you should be insisting on better quality design. I also note that the proposed visuals have been cleverly drawn so as not to show the proposal in context. Maybe you could ask for the adjacent properties to be shown given that this proposal will absolutely dwarf the properties adjacent. Totally unacceptable with no regard for the locale.

## **Comments for Planning Application 2019/0961/FUL**

**Application Summary**

Application Number: 2019/0961/FUL

Address: 128-130 Carholme Road Lincoln Lincolnshire LN1 1SH

Proposal: Erection of a three storey building to accommodate 15 apartments with parking and associated landscaping (Revised Plans).

Case Officer: Lana Meddings

**Customer Details**

Name: Dr Apostolos Papadopoulos

Address: 14 Roman Wharf Lincoln

**Comment Details**

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: Dear representative of the planning applications at Lincoln County Council,

I am writing to provide my opinion and comments regarding the Planning Permission with Ref 2019/0961/FUL as referred to in your letter dated 9th of April 2020.

This reply follows my initial brief comments which are now further detailed and expanded. I have further reviewed the comments of other neighbors with whom I agree.

For ease of reviewing I will list the reasons for my decision to object categorically to the planning permission currently proposed. These are not in any prioritized manner.

1. Loss of light and overshadowing will be caused as the proposed erection is higher than the previous building and any other current building in the area that affects directly that of 14 Roman Wharf. The loss of light and overshadowing will be felt at the premises garden and kitchen. Furthermore, the plan to install solar panels will exaggerate the issue. Therefore, the erection should be limited to two storey. This will confront with the surrounding area and reduce the effect to neighbors.

2. From a visual amenity point of view, the proposed erection will have a significant impact to the current enjoyment of 14 Roman wharf and that of the neighbors at the same area. The proposed erection will reduce the enjoyment of the gardens which are already limited and further induce loss of privacy and overlooking into the garden area and the harden facing bedrooms and living rooms of the area and that of 14 Roman

wharf. There is no adequate landscaping for the proposed erection which is not in accordance with any other property in the vicinity.

3. Highway/Road safety is a major issue as mentioned by others in published comments and supported by the persons at 14 Roman wharf. The extension of the line of the building compared to the previous premises will clearly obstruct the view of traffic coming of the street. This is a considerable issue as the traffic will increase multi-fold due to the new dwellings. This is likely to cause accidents and the voiced concern of others as given should raise a serious investigation.

The traffic generation of that street should also be considered. This follows the observation of no provisions for disable person`s access for parking or the building. The proposed erection is therefore objected and proposed to reduce to a two floor dwelling.

4. Adequate parking/loading and turning for the proposed parking is a concern. There appears that the spaces have been designed as such that will cause extra manoeuvring for the cars, waste removal vehicles (unless individual bins are issues which will results in 15 bins being lined up on the street!) and of course accessible car park space(s). The building density will cause issues with parking, smell from the waste disposal and traffic resulting in significant disturbance for the dwellings of the area and that of 14 Roman Wharf.

5. It is inevitable with the overcrowding of the proposed dwellings that extra noise and disturbance will be caused from using the premises. This will result in a significant loss of enjoyment of the established dwellings and therefore I object to the current plans and propose a two storey revision.

6. Infrastructure checks should be performed as the area is known to be prone to flooding and the subsoil will be further affected with the extra weight from the proposed dwellings compared to the previous building. This is very apparent as during the demolition work at the property, excessive vibrations were felt and several cracks (most likely cosmetic) have appeared at the property and likely others in the area. Due to the location of the area, at the end of a slope, lateral water movement takes place and is very likely that an increased pressure and reduced surface area with soil able to absorb water from the proposed dwellings will result in land settlement and potential early subsidence of that and other properties in the area as well as increased flood risk. The current plans propose what is classed as an over-development and therefore i object to that and propose a two-storey dwelling.

Therefore, I categorically disagree with the proposed plan and I object to grant permission. A review of the plan proposing a two storey dwelling will be most welcome as it will reduce considerably the aforementioned significant issues.

Thanks in advance for considering my comments and propositions and I trust they are useful for your re-consultation.

Yours faithfully  
Apostolos



<b>Application Number:</b>	2019/0958/HOU
<b>Site Address:</b>	7 James Street, Lincoln, Lincolnshire
<b>Target Date:</b>	25th January 2020
<b>Agent Name:</b>	Ryland Design Services Ltd
<b>Applicant Name:</b>	Mr & Mrs Mark Jackson
<b>Proposal:</b>	Erection of a single storey garden room.

**Background - Site Location and Description**

Application is planning permission for the erection of a garden room/ studio outbuilding within the garden of 7 James Street.

7 James Street is grade II listed and is located within the Cathedral and City Centre Conservation Area No.1.

A former stables, the Coach House was converted to a residential dwelling in 1991.

Planning Permission and Listed Building Consent were approved November 2018 for the erection of a single storey extension to the Coach House to provide an en suite bedroom to the ground floor (2018/1177/HOU and 2018/1178/LBC). This extension has now been constructed on site.

A separate application for Listed Building Consent is not required for this freestanding outbuilding within the curtilage. The effect of the proposed structure on the setting of 7 James Street a grade II listed building, is considered under this application

The site is also a Scheduled Ancient Monument being part of the Lincoln Roman Colonia (Lindum). Schedule Monument Consent for the proposed works has been approved by the Secretary of State on 7th April 2020.

The proposal was subject to some pre application discussion, with the proposal revised to a smaller outbuilding and the omission of the originally proposed external decked area.

**Site History**

Reference:	Description	Status	Decision Date:
2018/1177/HOU	Erection of a single storey front and side extension.	Granted Conditionally	4th January 2019
2018/1178/LBC	Single storey ground floor extension and replacement of internal staircase (Listed Building Consent).	Granted Conditionally	4th January 2019

**Case Officer Site Visit**

**Site Visit Note**

A site visit was undertaken at the pre application stage. No site visit has been undertaken further to the submission of the planning application in person due to the restrictions in place as a result of the Covid 19 pandemic. The proposals have instead been assessed

using various online tools together with photographs taken by the applicant or their agent. I am satisfied that there is sufficient information consequently available to assess any potential impact and to make a robust decision on the proposals

### **Policies Referred to**

- Policy LP25 The Historic Environment
- Policy LP26 Design and Amenity
- National Planning Policy Framework

### **Issues**

- Local and National Planning Policy
- The setting of the listed building
- The effect on residential amenity
- The effect on visual amenity and the character and appearance of the conservation area
- Archaeology and the SAM
- Highways
- Proposed use of the outbuilding.

### **Consultations**

Consultations were carried out in accordance with the Statement of Community Involvement, adopted May 2014.

### **Statutory Consultation Responses**

Consultee	Comment
Lincoln Civic Trust	Comments Received
Highways & Planning	Comments Received

## **Public Consultation Responses**

Name	Address
Mr Tim Allen	10 Holliday Street Birmingham B1 1TF
Mrs Susan and Mr Nick Bunker	Deloraine Court 4 James Street Lincoln LN2 1QE
Mr Anthony Blinkhorn	5 James Street Lincoln Lincolnshire LN2 1QE
Mrs Margaret Carr	10 James Street Lincoln Lincolnshire LN2 1QE
Roger And Sarah Bayes	Deloraine Court 6 James Street Lincoln Lincolnshire LN2 1QE

## **Consideration**

### **Policy**

The proposal should be considered with regard to policies contained within the CLLP. Policies LP25 and LP26 are relevant.

LP25 states that planning permission will only be granted for development affecting designated heritage assets "where the impact of the proposal does not harm the significance of the asset and or its setting".

Permission to extend a listed building will be granted where "the proposal is in the interest of the buildings preservation and does not involve activities or alterations prejudicial to the special architectural or historic interest of the listed building or its setting."

LP25 also states that development proposals will be supported where they: "Protect the significance of designated heritage assets (including their setting) by protecting and enhancing architectural and historic character, historical associations, landscape and townscape features and through consideration of scale, design, materials, siting, layout, mass, use, and views and vistas both from and towards the asset; ".

Development proposals that affect the setting of a listed building will also be supported where they preserve or better reveal the significance of the listed building.

LP25 states development affecting conservation areas should "preserve features that

contribute positively to the areas character, appearance and setting".

LP26 of the CLLP requires development proposals to be assessed against relevant design and amenity criteria. The amenities of occupants of neighbouring land and buildings may reasonable expect to enjoy must not be unduly harmed by or as a result of development.

Paragraph 193 of the NPPF requires that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation.

Section 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that general duty in relation to conservation areas, "special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area."

In order to address these requirements, the agent has provided both a Design and Access Statement and Heritage Impact Assessment, including outlining the proposed archaeological works during the course of the application.

### The Site and Coach House

An 18th century former stables to Deloraine Court, the Grade II listed Coach House was converted from garaging to a residential dwelling in 1991. The property provides residential accommodation across two floors, with rooms within the converted roof space. The property is predominately red brick under a clay plain tiled roof. A feature of the building is the retained timber doors and series of arched openings housing windows and doors.

The dwelling is predominately hidden from public view by an existing large stone wall, vegetation and solid timber gates to James Street. The new garden room outbuilding will be erected close to, but not seen over the existing walling and boundary hedging. The application does not include proposals to change or alter the existing boundary wall.

There are a number of other designated heritage assets adjacent to the site, which are all of high significance. These comprise the Grade II listed Burghersh Chantry House at 17 James Street to the immediate east, the Grade II listed Cathedral School Boarding House, No. 18 James Street, the Grade II listed County Assembly Rooms to the west and the Grade II\* listed Deloraine Court East and Deloraine Court West, Nos. 4-6 James Street to the south-west. The settings of these various designated heritage assets are all material considerations in respect of the proposed outbuilding within the curtilage of 7 James Street, along with the host property the former Grade II listed stables itself.

Planning permission and Listed Building Consent were approved November 2018 for the erection of a single storey extension to the Coach House to provide an en-suite bedroom to the ground floor (2018/1177/HOU and 2018/1178/LBC). This extension has now been constructed on site.

The proposed development will comprise the erection of a new single storey detached garden room outbuilding on garden land to the south of the Grade II listed host dwelling. The single storey proposed outbuilding measures 6.2m x 4.2m. The garden room is to be a flat roofed building with a covering of rolled lead, with the remainder of the building composed of oak cladding with vertical timber posting and wooden doors and windows.

The building will be constructed on a concrete slab/raft foundation, which will require a maximum excavation depth of 0.15m below ground levels. There will be in addition new service trenching required, which will connect to existing services to the north and within the listed building curtilage. The service trenching will be excavated to maximum depths of 0.30m below ground levels.

### Consultation Responses

An objection has been received from the Civic Trust, concerned that the proposed design, flat roof and colour scheme are not sympathetic to the built environment of the area. The Trust also raises concern regarding the proposed use of the outbuilding and the potential for it to be used as additional living quarters, which it feels would be an overdevelopment of the property.

4 objections have been received from neighbours within the vicinity of the site. Concerns raised include development within the Scheduled Ancient Monument and the effect the proposal would have on archaeological remains through the foundations and new drainage. Lack of information within the Design and Access Statement regarding the effect on the SAM.

The effect of the proposal on the setting of the adjacent listed buildings and the wider buildings which comprise Delorlane Court and the Cathedral and City Centre Conservation Area. The proposed design and in particular the flat roof is not in keeping with the historic urban grain and plot layout of James Street and the surrounding areas contrary to local planning policy. Whilst the proposal would add a modern structure into an otherwise historic area.

Lack of information regarding the proposed materials. Accoya posts and oak cladding is not in keeping with the brick and stone vernacular of the former stable block at the site.

Concerns regarding the proposed use of the new outbuilding and that it has the potential to be used for other uses than the 'garden room' stated on the plans and that this has the potential to be used as a self-contained dwelling. Problems associated with increased density of housing within the area, increase in traffic, and set a precedent for other 'outbuildings' within the area. Increased access problems for adjacent neighbours. Concern that a new 'Norman' arch is to be created out of character with the host property.

The existing hedge at the site can be removed at any time and would therefore reveal the new structure outside the site.

### Effect on the Setting of the Listed Buildings and the wider Conservation Area.

In line with guidance contained within the NPPF, the submitted Design and Access Statement indicates that "the scheme has been designed following a survey and analysis of the site and its constraints, opportunities and surroundings to produce a design appropriate to this location and surrounding development area of similar scale".

As stated in the HIA, it is considered that the proposed outbuilding has been designed to be clearly subordinate to the host dwelling. The garden room outbuilding appears very much as an ancillary structure and is modest in scale.

Whilst objections have been raised to the proposed materials, the palette of materials

reflects that of the recently approved and constructed extension to the host property. The structure will be constructed with Oak posts (painted Ivory Cream), untreated Oak cladding, ivory timber windows and doors, cast iron down pipes and a revision of code 5 lead flashing to the flat roof.

The palette of materials is considered appropriate to the context, selected for a simple and modern architectural approach, which also indicates an appropriate hierarchy of elements on site.

The single storey height of the building will be such that the roof levels will be below that of the existing high stone boundary wall to the east and the high mature conifer hedge the south and west. The proposed outbuilding will therefore be effectively screened off from outside the application site. Whilst the retention of the hedge long term cannot be ensured, the plan does show that at present the proposed structure is lower than both the hedge and the adjacent boundary wall with James Street.

It is considered that the outbuilding is a modest, small scale, ancillary structure of a simple design and materials and not therefore be harmful to the setting of the host property or the listed properties adjacent to the application site. The proposal is therefore considered to be in accordance with policy LP25 of the CLLP, where "the impact of the proposal does not harm the significance of the asset and or its setting".

Similarly the effect on the character and appearance of the conservation area is minimal given that views of the outbuilding from outside the site are limited. The proposal is therefore considered to be in line with LP25 of the CLLP and the duty contained within section 72 of the Act where, "special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area."

With regard to objections concerning the creation of a new Norman Arch and doorway, it appears as though this is attributed to misinterpretation of the proposed plans when viewing the proposed West elevation. There is an existing archway and gate within the boundary wall to James Street (as shown on the site photographs) and therefore a new opening is not being created. The only doorway into the new outbuilding will be to the north elevation and is a simple modern design of timber construction.

#### Effect on Residential Amenity

The outbuilding is to be used as a 'studio/ garden room'. The plans indicate that a bathroom (toilet and shower) will be fitted within the outbuilding. The proposal could therefore be capable of providing residential accommodation, potentially separate from the host dwelling.

The agent and applicant have responded and confirmed that the proposed use is as a garden room for a number of uses ancillary to the general enjoyment of the main dwelling house, including housing gym equipment, exercise, and painting etc. The shower and toilet facilities are also to be used in association with the proposed hot tub which the occupiers of 7 James Street are intending to install adjacent to the garden room.

Whilst no objections are raised by the LPA to the use of the outbuilding as an ancillary use to the main dwellinghouse, an independent residential unit would raise concerns regarding the over intensification of the use of the site and the potential resulting increased noise and disturbance generated. Any additional separate residential unit at this location may

therefore be detrimental to the residential amenities of the occupants of adjacent dwellings, through the creation of a residential unit in a location where you would not reasonably expect one to be.

Should planning permission therefore be approved, a condition should be included which restricts the use of the outbuilding for purposes ancillary to the enjoyment of the dwellinghouse only, and shall not be sold or let as a separate entity, including a holiday let.

The effect of the proposed garden room outbuilding on the residential amenities of the occupiers of adjacent properties should be considered. I do not consider that given the size and location of the proposed outbuilding and the location of windows within the structure, that the amenities of adjacent properties will be detrimentally affected through either overlooking or loss of outlook or light or creation of an overbearing structure. The outbuilding is located well within the site and windows face back toward the host property with the expectation of one window within the west facing side elevation which serves the shower room and can therefore be conditioned obscure glazed.

### Archaeology

During the course of this planning application, Scheduled Monument Consent for the proposed works has been approved by Historic England on behalf of the Secretary of State.

Further to the approval of SMC, the two agreed trial test pits were undertaken on 18th April. The subsequent report required by a condition of the SMC approval has been sent to both HE and the LPA. The report concludes that it "is considered that the required depths of 0.15m and of 0.35m respectively below ground levels to facilitate the construction of the proposed new concrete raft/slab foundation and of the required new service trench, would not impact upon any significant archaeological remains. At these limited depths, these excavations would also certainly not be deep enough to have any impact on any earlier archaeological remains such as those of the Roman Colonia or of the medieval settlement, despite the high archaeological potential from these periods to be encountered on this site, that were identified by the prior heritage impact assessment."

Lincolnshire County Council as both the Highway Authority and Lead Local Flood Authority has no objections to the proposal.

### **Application Negotiated either at Pre-Application or During Process of Application**

Yes.

### **Financial Implications**

None.

### **Legal Implications**

None

### **Equality Implications**

None.

## **Conclusion**

Given the proposed design, scale and materials of the outbuilding, and that views from outside the site are very limited, it is considered that the proposed outbuilding will not be detrimental to the setting of the grade II host property or the other listed buildings within the vicinity of the application site. Similarly, the proposal is considered to preserve the character and appearance of the Conservation Area.

The garden room and its proposed use is not considered to be detrimental to the residential amenities of the occupants of adjacent properties and therefore the proposal is considered to be in accordance with policies contained within the CLLP and also the NPPF.

## **Application Determined within Target Date**

No (extension of time agreed).

## **Recommendation**

That the application is Granted Conditionally.

## **Standard Conditions**

- 01) The development must be begun not later than the expiration of three years beginning with the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990.

- 02) With the exception of the detailed matters referred to by the conditions of this consent, the development hereby approved shall be carried out in accordance with the drawings listed within Table A below.

The works shall be carried out in accordance with the details shown on the approved plans and in any other approved documents forming part of the application.

Reason: To ensure the development proceeds in accordance with the approved plans.

## **Conditions to be discharged before commencement of works**

- 03) No development shall take place within the application site until the applicant/developer has secured the implementation of an appropriate programme of archaeological work undertaken by a competent person/organisation, in accordance with a Written Scheme of Investigation (WSI) which has been submitted to and approved by the City of Lincoln Council as Local Planning Authority.

This scheme must provide:

1. Evidence that a contract has been entered into with an Archaeological Contractor to undertake all stages of work;
2. An assessment of significance and proposed mitigation strategy (i.e. preservation by record, preservation in situ or a mix of these elements);



3. A methodology and timetable of site investigation and recording;
4. Provision for site analysis;
5. Provision for publication and dissemination of analysis and records; and
6. Provision for archive deposition.

The development shall be undertaken only in full accordance with the approved WSI. No variation shall take place without the prior written consent of the Local Planning Authority. The applicant/developer shall notify the Local Planning Authority of the intention to commence all works at least 7 days before commencement.

Reason: In order to ensure the preparation and implementation of an appropriate scheme of archaeological mitigation and then to ensure satisfactory arrangements are made for the recording of possible archaeological remains. This condition is imposed in accordance with the requirements of Section 12 of the National Planning Policy Framework.

- 04) The programme of archaeological work shall be completed in accordance with the approved Written Scheme of Investigation (WSI), including any necessary fieldwork, post-excavation analysis, report writing and archive deposition, as detailed in the approved scheme. The report shall be prepared and deposited with the City Council's Heritage Team within the LPA and the Lincolnshire Historic Environment Record, within six months of completion of the archaeological works. The archive shall be deposited with The Collection (Lincolnshire Museums) within twelve months of the completion of site works. No variation shall take place without prior written consent of the Local Planning Authority.

Reason: In order to ensure that satisfactory arrangements are made for the investigation, retrieval and recording of any possible archaeological remains on the site. This condition is imposed in accordance with the requirements of Section 12 of the National Planning Policy Framework.

### **Conditions to be discharged before use is implemented**

#### **Conditions to be adhered to at all times**

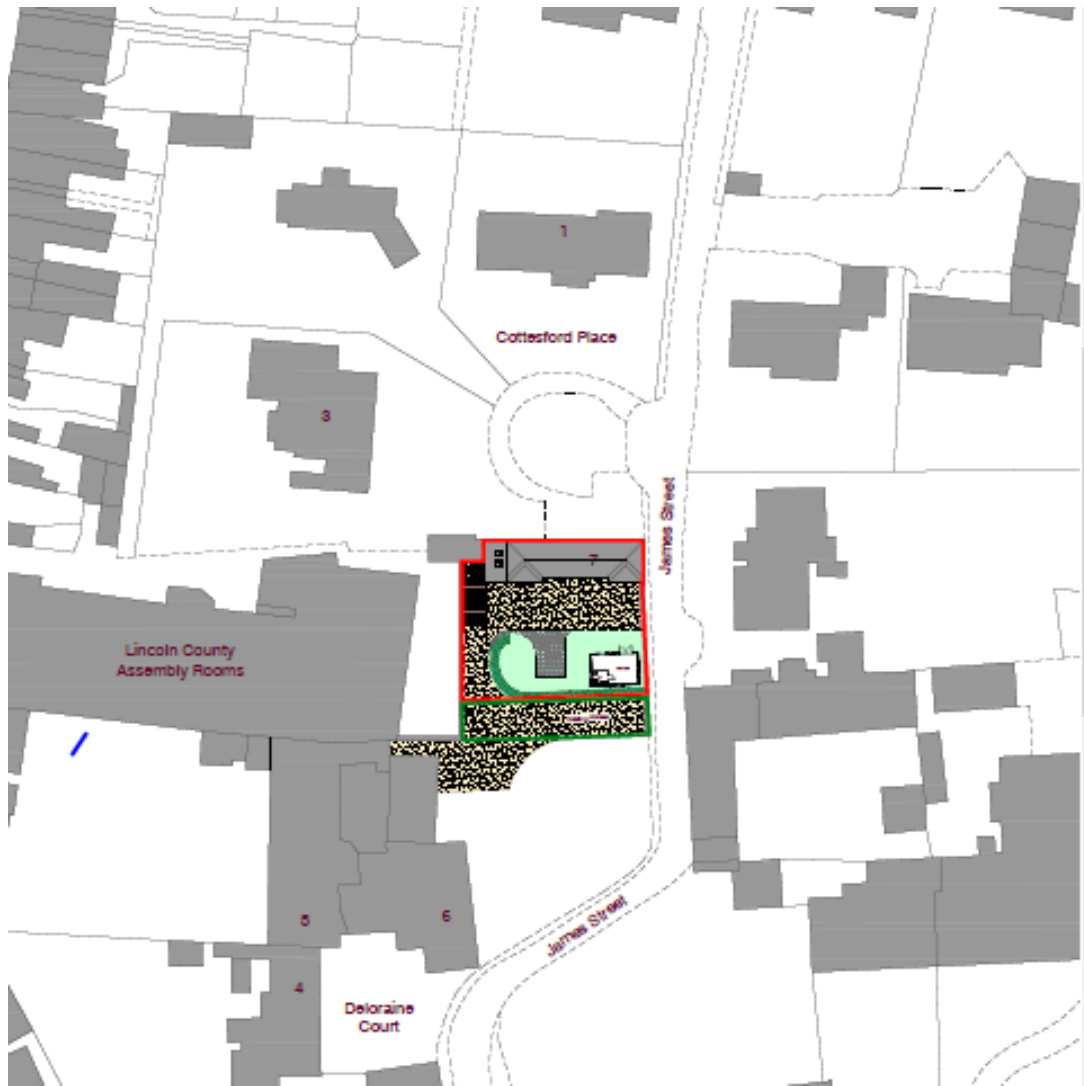
- 05) The bathroom window hereby approved in the west facing side elevation of the proposed outbuilding shall be fitted with obscure glazing before the outbuilding is first brought into use and the obscure glazing shall thereafter be retained at all times.

Reason: To protect the privacy and residential amenities of the adjacent property.

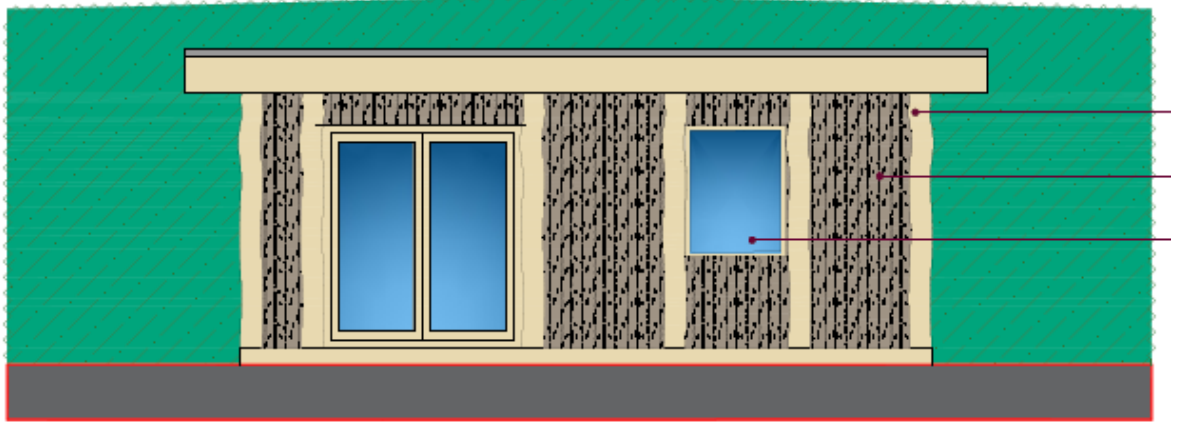
- 06) The development hereby approved shall be used for purposes ancillary to the residential use of 7 James Street only and shall not be used as independent residential accommodation, sub-let (including holiday lets) or sold as a separate entity.

Reason. In the interests of the amenities of adjacent residential properties

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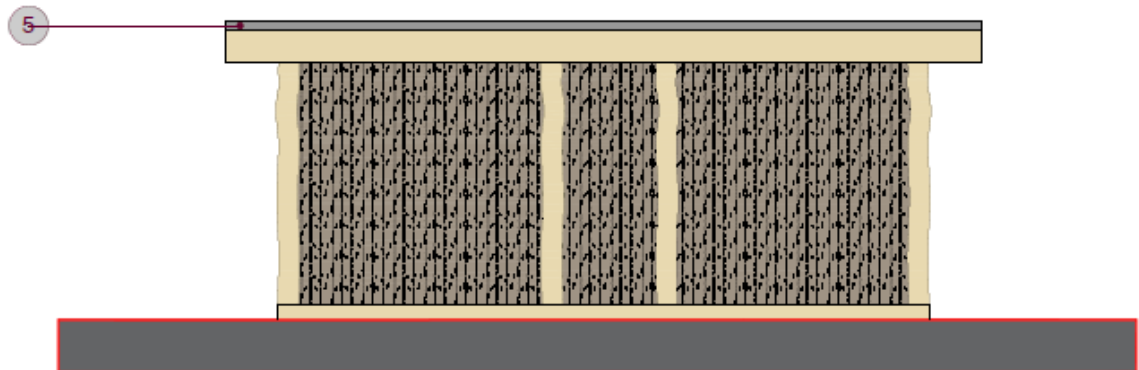


Site location plan



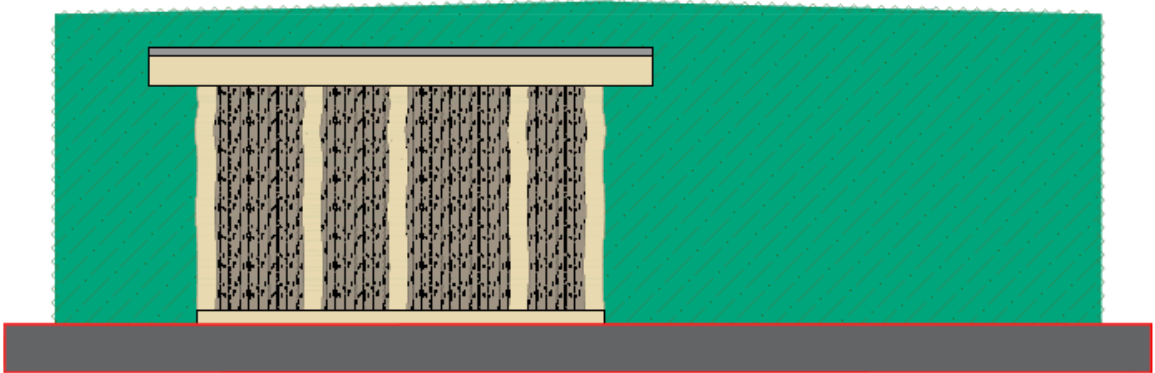
## Proposed North Elevation

With Existing Hedging (Scale 1:50 @ A1)



## Proposed South Elevation

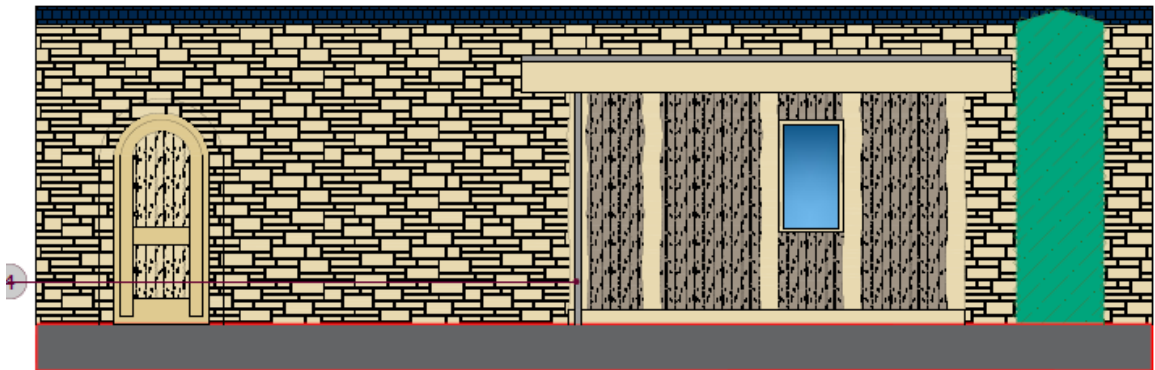
(Scale 1:50 @ A1)



## Proposed East Elevation

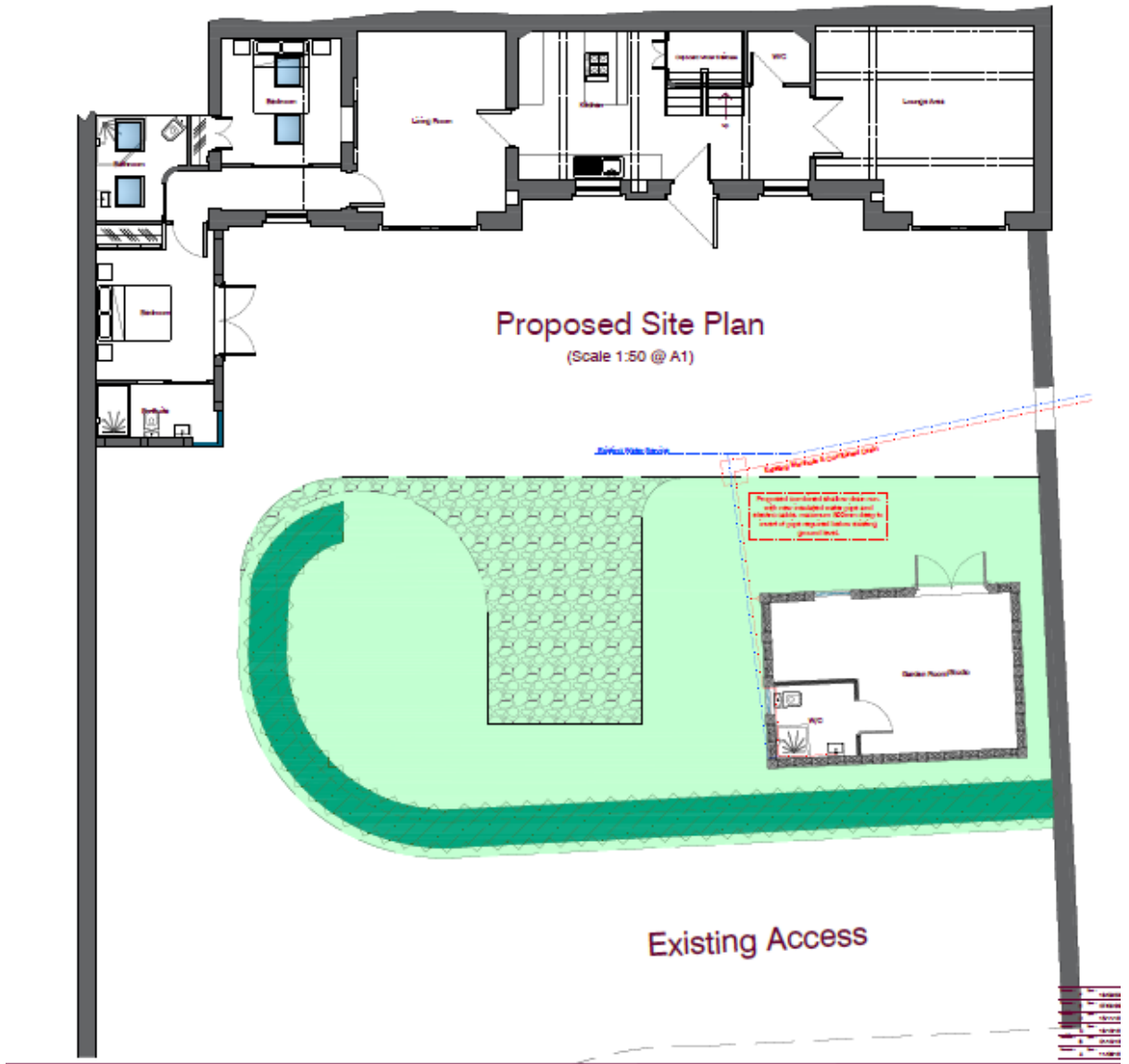
With Existing Hedging (Scale 1:50 @ A1)

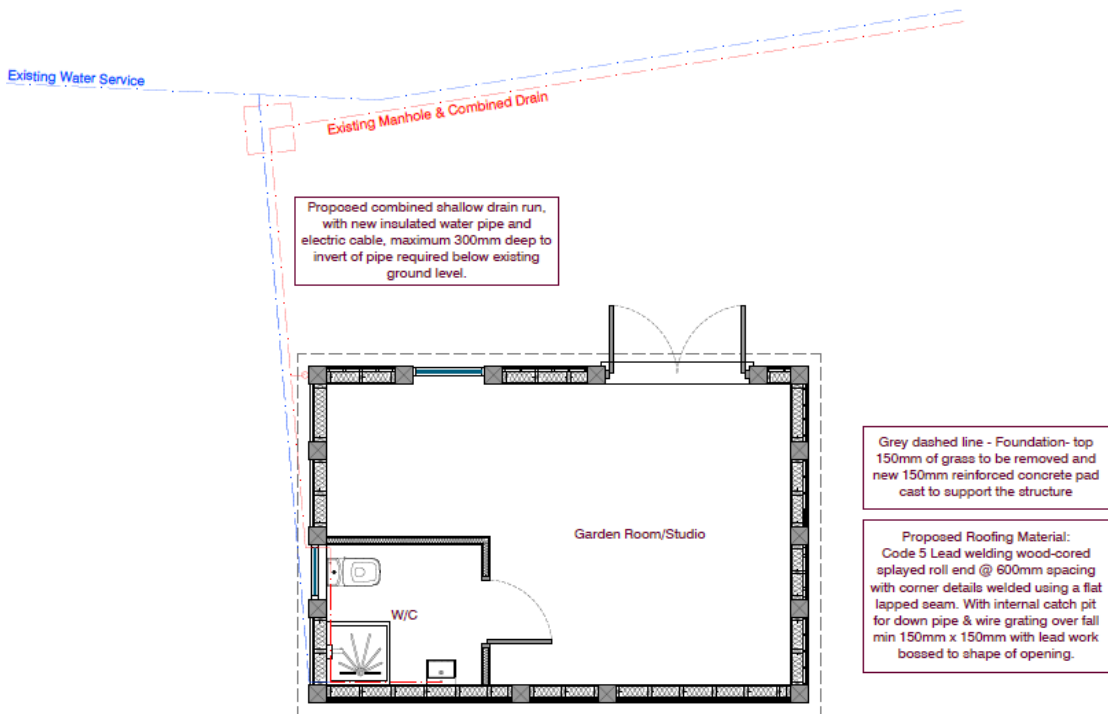
Revision	H	Date
Revision	G	Date
Revision	F	Date
Revision	E	Date
Revision	D	Date



## Proposed West Elevation

With Existing Walling & Hedging (Scale 1:50 @ A1)





## Proposed Floor Plan

(Scale 1:50 @ A1)

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Views from inside the site looking East towards the boundary wall with James Street beyond. The existing gated pedestrian access is shown.





Views South of proposed location of the outbuilding. Existing wall to James Street and conifer hedge shown.





View of east wall to James Street with existing gate access and the proposed location of the outbuilding



Views West showing the dwelling at the application site, the conifer screening to the driveway and grade II\* listed County Assembly Rooms beyond.



Photographs to show the driveway access to 7 James Street, with the County Assembly Rooms beyond the boundary wall and existing conifer hedge to application site, behind which the outbuilding is proposed to be located.





Photos to show the part shared driveway with the grade II\* Deloraine Court East and West beyond (no's 4-6 James Street.)





View of James Street with the boundary wall to the application property to the right hand side, including the existing pedestrian gated access within the wall.



Views of the application site and property







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## 7 JAMES STREET LINCOLN

The applicant has provided the following additional statement: -

The Coach House itself will be occupied by myself (Mark Jackson) and my wife Wendy. The 2 first floor bedrooms will be set up as bedrooms for our 2 daughters who live and work away (occasionally abroad) for Rolls Royce and who return to our home every five or six weeks or so for 2 or 3 days. The 2 ground floor bedrooms will be used by myself and Wendy as we both prefer ground floor bedrooms now that we are very close to retirement. We have no requirement for a fifth bedroom and although our current house at Bassingham has a fifth bedroom we have never used it as such. The proposed garden room/ studio would serve various purposes for all 4 members of the family; we currently have 2 types of home gym exercise equipment which would be set up inside the proposed building for use by all of us and we have a small freestanding hot tub which we would set up outside of the French doors of the proposed building . Our daughters practice yoga as well as various other forms of exercise and so the shower room facility would be ideally located within the proposed building for showering and changing in privacy after exercise and also for showering and changing before and after bathing in the hot tub which is necessary in order to maintain the chemical balance within the tub . The room would also be used for relaxation and reading as well as water colour painting by one of my daughters and so it is intended that it would serve numerous family-only purposes for all four of us at various times and certainly not as a bedroom or as self- contained accommodation for anyone.

The proposed building would have no effect whatsoever to off road parking as the area of existing driveway would be totally unaffected. The Coach House has very generous existing parking space which can easily accommodate 6 cars on the existing drive and this area of existing drive would not be reduced at all under this current proposal. Several of the houses on James Street have no off- road parking at all. In practice there will only be 1 car when myself and Wendy take occupation and a total of 3 cars if both of our daughters are home at the same time.

I believe that any excavation for drainage and services can be limited in extent and quite shallow in depth. There is an existing water supply pipe terminating in an outside tap which was possibly installed at the same time as the conversion works took place about 20 years ago. This runs from the Coach House across to a position not far from the proposed position of the new shower room. I would suggest that a single trench at about 300mm in depth could be re excavated directly on top of the existing water pipe trench for the installation of a new drain and electric supply cable and the existing water supply pipe can be used to serve the proposed building. A recent archaeological evaluation prepared by Neville Hall Archaeology permitted excavation to 450mm depth within this same plot and Neville Hall has been instructed to liaise with the Local Authority Archaeology department and Historic England specifically with regard to this application.

The Western Elevation drawing shows the proposed Western Elevation of the proposed building and also shows an EXISTING stone wall with an EXISTING arched doorway. This existing stone wall with arched doorway runs alongside James Street and would lie BEHIND the proposed studio. Clearly the drawing has been grossly misinterpreted in

error by the objectors to the application and it seems to have been wrongly assumed (in objection letters) that this proposal is of a larger scale and also includes the construction of a NEW large stone wall with a NEW arched doorway. This is simply not the case. There would not be an increase in population density or traffic as it would not be occupied, sold or let out to others.

I understand that Andrew at Ryland Design has already agreed the flat roof design and all the materials with the Planning and Conservation Officer.

The Studio will not be used as a bedroom or a self-contained dwelling. I would be agreeable to a planning condition being imposed to ensure this and to ensure that this building would not be sold or let as a separate entity

Mr and Mrs M Jackson.

Mr Neville Hall  
Neville Hall Archaeological Services  
38 Fittingley Road  
Lincoln  
Lincolnshire  
LN6 0UP

Direct Dial: 0121 625 6888

Our ref: S00238997

7 April 2020

Dear Mr Hall

**Ancient Monuments and Archaeological Areas Act 1979 (as amended); Section 2  
control of works  
Application for Scheduled Monument Consent**

**LINCOLN ROMAN COLONIA (LINDUM), [SPECIFICALLY THAT PART OF THE  
MONUMENT LYING AT, 7 JAMES STREET, LINCOLN, LN2 1QE]  
Scheduled Monument No: SM LI 115, HA 1003569  
Our ref: S00238997  
Application on behalf of Mr Mark Jackson**

1. I am directed by the Secretary of State for Digital, Culture, Media & Sport to advise you of the decision regarding your application for Scheduled Monument Consent received 3 March 2020 in respect of proposed works at the above scheduled monument concerning the excavation of two archaeological test pits to inform the construction of a garden room and associated services. The works were detailed in the following documentation submitted by you:

Scheduled Monument Consent Application Form  
Drawings by Rydale Design Services Ltd

RDS 11417/07(a) Survey Context Floor Plans Drawing  
RDS 11417/10(.) Ordnance Survey Site Plan Drawing  
RDS 11417/06(a) Survey Site Plan Drawing  
RDS 11417/08(d) Proposed Context Floor Plans Drawing  
RDS 11417/09(h) Proposed Elevations Floor & 1:100 Site Plan Drawing

"Specification for a Pre-Determination Archaeological Evaluation at 7, James Street,  
Lincoln Lincolnshire"  
Neville Hall - March 2020

2. In accordance with paragraph 3(2) of Schedule 1 to the 1979 Act, the Secretary of State is obliged to afford you, and any other person to whom it appears to the Secretary of State expedient to afford it, an opportunity of appearing before and being



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Telephone 0121 625 6889  
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heard by a person appointed for that purpose. This opportunity was offered to you by Historic England and you have declined it.

3. The Secretary of State is also required by the Act to consult with the Historic Buildings and Monuments Commission for England (Historic England) before deciding whether or not to grant Scheduled Monument Consent. Historic England considers the effect of the proposed works upon the monument to be limited in their likely impact upon its significance as previous excavations nearby suggest their is sufficient cover to accommodate the proposed depths of slab and services, however this archaeological evaluation is necessary to ensure that remains do not survive at a higher level in this specific location and to effectively inform any further detailing of footings and services. The application material includes details of the proposed garden room which is subject to separate application for Planning Consent to the Local Planning Authority

I can confirm that the Secretary of State is agreeable for the works to proceed providing the conditions set out below are adhered to, and that accordingly Scheduled Monument Consent is hereby granted under section 2 of the 1979 Act for the works described in paragraph 1 above, subject to the following conditions:

- (i) The works to which this consent relates shall be carried out to the satisfaction of the Secretary of State, who will be advised by Historic England. At least 1 week's notice (or such shorter period as may be mutually agreed) in writing of the commencement of work shall be given to [tim.allen@historicengland.org.uk](mailto:tim.allen@historicengland.org.uk) in order that an Historic England representative can inspect and advise on the works and their effect in compliance with this consent.
- (ii) All those involved in the implementation of the works granted by this consent must be informed by the owner or his appointed agent that the land is designated as a scheduled monument under the Ancient Monuments and Archaeological Areas Act 1979 (as amended); the extent of the scheduled monument as set out in both the scheduled monument description and map; and that the implications of this designation include the requirement to obtain Scheduled Monument Consent for any works to a scheduled monument from the Secretary of State prior to them being undertaken.
- (iii) Equipment and machinery shall not be used or operated in the scheduled area in conditions or in a manner likely to result in damage to the monument/ ground disturbance other than that which is expressly authorised in this consent.
- (iv) The specification (including analysis, post-excavation and publication proposals) for which consent is granted shall be executed in full, unless variations have been agreed under the terms of condition 1.



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- (v) A report on the archaeological recording shall be sent to the City Historic Environment Record and to Tim Allen at Historic England within 3 months of the completion of the works (or such other period as may be mutually agreed).
- (vi) The archaeological contractor shall complete and submit an entry on OASIS (On-line Access to the Index of Archaeological Investigations - <<<http://oasis.ac.uk/england/>>><<<http://oasis.ac.uk/england/>>>) prior to project completion, and shall deposit any digital project report with the Archaeology Data Service, via the OASIS form, upon completion and engage with the Research Framework at <<<http://archaeologydataservice.ac.uk/researchframeworks/eastmidlands/wiki/>>>
- (vii) Whereas ancient structural or articulated human remains are exposed during the course of the consent works they shall be protected from damage or disturbance and retained in place unless variations have been agreed under the terms of condition 1.
- (viii) No works other than the two archaeological test pits may proceed until final specifications and detailing for the proposed garden room, its footings, services and associated landscaping, planting and or other matters comprising additions to the monument or ground disturbance have been submitted to Historic England and approved in writing on behalf of the Secretary of State.
4. By virtue of section 4 of the 1979 Act, if no works to which this consent relates are executed or started within the period of five years beginning with the date on which this consent was granted (being the date of this letter), this consent shall cease to have effect at the end of that period (unless a shorter time period is set by a specific condition above).
5. This letter does not convey any approval or consent required under any enactment, bye law, order or regulation other than section 2 of the Ancient Monuments and Archaeological Areas Act 1979.
6. Your attention is drawn to the provisions of section 55 of the 1979 Act under which any person who is aggrieved by the decision given in this letter may challenge its validity by an application made to the High Court within six weeks from the date when the decision is given. The grounds upon which an application may be made to the Court are (1) that the decision is not within the powers of the Act (that is, the Secretary of State has exceeded the relevant powers) or (2) that any of the relevant requirements have not been complied with and the applicant's interests have been substantially prejudiced by the failure to comply. The "relevant requirements" are defined in section 55 of the 1979 Act: they are the requirements of that Act and the



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Tribunals and Inquiries Act 1971 and the requirements of any regulations or rules made under those Acts.

Yours sincerely

**Tim Allen**

Team Leader (Development Advice)

E-mail: [tim.allen@HistoricEngland.org.uk](mailto:tim.allen@HistoricEngland.org.uk)

For and on behalf of the Secretary of State for Digital, Culture, Media and Sport

cc Alastair MacIntosh, City Council Archaeologist





Ms Alex Leatherland  
Lincoln City Council  
City Hall  
Beaumont Fee  
Lincoln  
LN1 1DF

Direct Dial: [REDACTED]  
Our ref: P01189037

17 March 2020

Dear Ms Leatherland

**T&CP (Development Management Procedure) (England) Order 2015  
& Planning (Listed Buildings & Conservation Areas) Regulations 1990**

**7 JAMES STREET, LINCOLN  
Application No. 2019/0958/HOU**

Thank you for your letter of 9 March 2020 regarding the above application for planning permission. On the basis of the information available to date, we offer the following advice to assist your authority in determining the application.

**Historic England Advice**

This application falls within the area of Scheduled Monument LI115 Lincoln Roman Colonia (Lindum), this is a site of national archaeological importance. Previous archaeological interventions suggest that this scheme can be delivered without harm to the significance of the Roman site but due to the inherent uncertainty as to the depth of cover present we have advised that in this instance a shallow raft and restricted service depths should be supported by archaeological test pits. We are now in receipt of an application for Scheduled Monument Consent for test pitting and construction and we are minded to advise the Secretary of State that consent is granted with appropriate conditions to ensure that the detailing of works is informed by the results of test pitting. We refer you to the advice of the City Archaeologist.

The proposed development lies within a Conservation Area and in the setting of several listed buildings including the Grade II listed former stable range to Deloraine Court. With regard to impacts upon the significance of listed buildings through setting effects and impacts upon the character of the Conservation Area (opportunities to enhance / better reveal significance) we refer you to the advice of the City Conservation Officer.

**Recommendation**

Historic England refers you to the expertise of your specialist advisors.



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In determining this application you should bear in mind the statutory duty of section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 to have special regard to the desirability of preserving listed buildings or their setting or any features of special architectural or historic interest which they possess and section 72(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 to pay special attention to the desirability of preserving or enhancing the character or appearance of conservation areas.

Your authority should take these representations into account in determining the application. If there are any material changes to the proposals, or you would like further advice, please contact us. Please advise us of the decision in due course.

Yours sincerely



**Tim Allen**

Team Leader (Development Advice)

E-mail: [tim.allen@HistoricEngland.org.uk](mailto:tim.allen@HistoricEngland.org.uk)

cc: Sarah Harrison Conservation Officer, Alastair MacIntosh City Archaeologist



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## **Consultee Comments for Planning Application 2019/0958/HOU**

### **Application Summary**

Application Number: 2019/0958/HOU  
Address: 7 James Street Lincoln Lincolnshire LN2 1QE  
Proposal: Erection of a single storey garden room.  
Case Officer: Alex Leatherland

### **Consultee Details**

Name: Ms Catherine Waby  
Address: St Mary's Guildhall, 385 High Street, Lincoln LN5 7SF  
Email: lincolncivictrust@btconnect.com  
On Behalf Of: Lincoln Civic Trust

### **Comments**

OBJECTION: This development is in a very sensitive part of the conservation area and any plans need to be mindful of the surrounding environment. The designs provided, including flat roof, colour scheme or general design are not sympathetic to the built environment of the area and need a major reconsideration. Furthermore, the committee are concerned that the application is for a garden room which, given the plans submitted, no reasonable person could construe as such. It would appear to be additional living quarters and the committee would object outright to this as an overdevelopment of the property.

Place Directorate  
Lancaster House  
36 Orchard Street  
Lincoln LN1 1XX  
Tel: (01522) 782070



To: Lincoln City Council

Application Ref: 2019/0958/HOU

Description of development

**Erection of a single storey garden room**

Address or location

**7 James Street, Lincoln, Lincolnshire, LN2 1QE**

With reference to the above application received 18 December 2019

Notice is hereby given that the County Council as Local Highway and Lead Local Flood Authority:

**Does not wish to restrict the grant of permission.**

CONDITIONS (INCLUDING REASONS)

NO OBS

Having given due regard to the appropriate local and national planning policy guidance (in particular the National Planning Policy Framework), Lincolnshire County Council (as Highway Authority and Lead Local Flood Authority) has concluded that the proposed development is acceptable and accordingly, does not wish to object to this planning application.

Case Officer:  
*Laura Rowett*  
for Warren Peppard  
Head of Development

Date: 8 January 2020

## Comments for Planning Application 2019/0958/HOU

### Application Summary

Application Number: 2019/0958/HOU  
Address: 7 James Street Lincoln Lincolnshire LN2 1QE  
Proposal: Erection of a single storey garden room.  
Case Officer: null

### Customer Details

Name: Mr Anthony Blinkhorn  
Address: 5 James Street Lincoln

### Comment Details

Commenter Type: Neighbour  
Stance: Customer objects to the Planning Application  
Comment Reasons:  
Comment: Planning Application 2019/0958/Hou  
7 James Street, Lincoln, LN2 1QE - Erection of a single storey garden room.

Dear Sir/ Madam,

Anthony and Fiona Blinkhorn, who live at 5 James Street, wish to register their objection to the planning application for the erection of a free-standing single storey building in the garden of: 7 James Street, Lincoln.

Our objections are as follows:

1. 7 James Street was originally a Georgian Stable Block which has been converted in stages to a four bedroom dwelling. It sits on a small plot with shared vehicular access to James Street. The Coach House is part of an important ancient complex of buildings known as Deloraine Court. It is a historical site close to the Cathedral Conservation Area. The planned 21st Century building will be totally out of keeping with the historic houses which make up Deloraine Court and its environs

totally out of keeping with the historic houses which make up Deloraine Court and its environs.

2. The proposed structure has a shower and WC which suggests it will be used as a bedroom or a self-contained dwelling. The Coach House has already doubled the number of bedrooms since 2018 and a large garden room would add greatly to the potential population density in the area. The proposed building is under 20 paces from the entrance to the main residence so the provision of a toilet and shower is unnecessary, unless the new room is going to be primarily used for accommodation. The plans certainly do not reflect a traditional garden room. It is a large self-contained unit not at all in keeping with the coach house built on a small plot of land.

3. An increase in the population density will have the effect of increasing vehicular traffic along James Street, which is a narrow cul-de-sac.

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4. The planning application does not specify the building materials to be used in the finish of the final building. The current outline drawings resemble a large static mobile home hidden behind oak cladding; hardly appropriate for a development in one of Lincoln's most ancient and historic areas.

5. The large flat roof is totally out of keeping with the pantile pitched roofs of the surrounding buildings. The flat roof will destroy the vista of a beautiful building and is a particularly hideous example of an unsympathetic construction "plonked" down in an ancient medieval site.

6. The large building will compromise the off road parking space available to residents of the Coach House and take away most of the garden.

7. The additional plumbing for the proposed toilet and shower may well interfere with the archeological artefacts close to the surface.

8. The plans suggest that a Norman Arch style doorway into the building is to be constructed. This is not compatible with the Georgian Architecture of the Stable Block and indicates an approach to the design which is not sensitive to either the historical significance of the building or the surrounding environs.

On these grounds we strongly object to the proposed planning application.

Yours Faithfully  
Anthony and Fiona Blinkhorn

## Comments for Planning Application 2019/0958/HOU

### Application Summary

Application Number: 2019/0958/HOU

Address: 7 James Street Lincoln Lincolnshire LN2 1QE

Proposal: Erection of a single storey garden room.

Case Officer: null

### Customer Details

Name: Mrs Margaret Carr

Address: 10 James Street Lincoln

### Comment Details

Commenter Type: Neighbour

Stance: Customer objects to the Planning Application

Comment Reasons:

Comment: I wish to object to this planning application for the following reasons.

The Coach House is a significantly important building within the area of James Street together with Deloraine Court, and should be treated as such. This development looks to be over-development of a small and important historical site. The proposed building is totally out of keeping with the existing Coach House, and as the plans include bathroom facilities, suggest that it's real purpose is as an additional bedroom. James Street is a narrow, single track road and development of this kind would be likely to increase the number of people residing at the property; and, in turn, the number of vehicles using an already small and busy street.

## Comments for Planning Application 2019/0958/HOU

### Application Summary

Application Number: 2019/0958/HOU  
Address: 7 James Street Lincoln Lincolnshire LN2 1QE  
Proposal: Erection of a single storey garden room.  
Case Officer: null

### Customer Details

Name: Mrs Susan and Mr Nick Bunker  
Address: Deloraine Court 4 James Street Lincoln

### Comment Details

Commenter Type: Neighbour  
Stance: Customer objects to the Planning Application  
Comment Reasons:  
Comment: Dear Sir/Madam,

PLANNING APPLICATION 2019/0958/HOU  
7 JAMES STREET, LINCOLN LN2 1QE - ERECTION OF SINGLE STOREY GARDEN ROOM

We are residents of James Street and we are also members of the Georgian Group and of the Society for the Protection of Ancient Buildings. We are writing to object to the above planning application on the following grounds.

(1) 7 James Street, which consists of a Georgian (late 18th century) stable block later converted into garages and then for residential use, is a Grade II listed building of historical and architectural importance. The property forms an integral part of the overall ensemble of Grade II\* listed medieval and 17th and 18th century buildings known as Deloraine Court, for which the Georgian stables were constructed. With its origins dating back to approximately 1150, Deloraine Court (4,5, and 6 James Street) is one of the oldest continuously inhabited residential complexes in the British Isles. It is therefore one of the most significant and physically attractive heritage assets in the city of Lincoln and the Cathedral Conservation Area. Erection of the proposed garden room would damage the architectural and historic integrity of the location by introducing an additional 21st century structure unrelated to and out of keeping with the historic development of Deloraine



would damage the architectural and historic integrity of the location by introducing an additional 21st century structure unrelated to and out of keeping with the historic development of Deloraine Court.

(2) The proposed structure incorporates a shower and WC which suggests that it is to be used as a bedroom and/or as a self-contained dwelling unit. We feel that this would represent an unacceptable increase in the density of housing in the Eastgate/James Street area, not least because it would create a precedent for the construction of further garden rooms and/or dwelling houses in other properties nearby. Not only would this add to traffic flows and the associated

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environmental hazards in James Street, a narrow cul-de-sac; it would also prejudice the historic character of the Eastgate/James Street area, where the medieval and early modern structures were built with extensive open spaces around them which should be preserved as far as possible (see Survey of Ancient Houses in Lincoln Vol. III: Houses in Eastgate, Priorygate, and James Street, by Jones, S., Major, K., and Varley, J (Lincoln Civic Trust, 1996)). In the specific case of 7 James Street, the garden on which the new room would be created was originally a stable yard and its character and open layout as such should be maintained.

(3) The plans attached to the application fail to specify sufficiently the building materials intended to be used. The elevation drawing appears to show stone as the principal construction material, but this is not explicitly stated. Also, the plans indicate the proposed use of Accoya posts (stained), oak cladding, and ivory windows and doors (material not given). Accoya posts and oak cladding are not in keeping with the 18th century brick and stone vernacular architecture of the former stable block. If stone is to be used it should be the geological equivalent of Inferior Oolite Lincolnshire Limestone, the principal Eastgate and Deloraine Court building stone, and the appropriate material for other portions of any new unit should be brick of a type and quality consistent with the Georgian brick walls of Number 7.

(4) The flat roof depicted in the elevation drawings is out of keeping with the existing 18th century pitched pantile roofs and attic construction of 7 James Street and of the Bailgate Assembly Rooms which overlook the site.

(5) The elevation drawings incorporate a faux-medieval doorway with a round Norman-type arch. Again this is out of keeping with the Georgian architecture of the former stable block.

(6) Number 7 James Street is located within the Scheduled Ancient Monument which contains the

heart of the Roman colonia. The application envisages additional plumbing works which will, we believe, create a risk of damage to the archaeological strata.

(7) No mention is made in the application of the implications of the new garden room for parking and vehicle access. It appears to us that the new structure and increased vehicle use associated with it might be detrimental to the access needs of neighbours.

Thank you very much for your attention.

Sincerely yours,

Sue and Nick Bunker  
Deloraine Court  
4 James Street  
Lincoln LN2 1QE

For the attention of case officer for application 2019/0958/HOU,

Dear Sir / Madam

PLANNING APPLICATION: 2019/0958/HOU

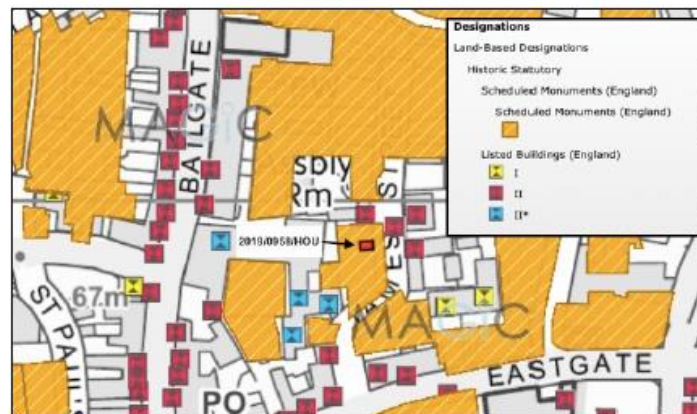
**Erection of a single-storey garden room. | 7 James Street Lincoln Lincolnshire LN2 1QE, Mr & Mrs Mark Jackson**

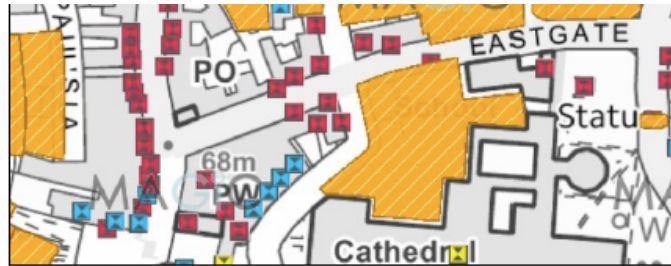
I write in connection with the above planning application. I have examined the plans and I know the site well. I wish to object strongly to the development of a 'garden room' in this location.

We are writing to object to the planning application on the following grounds:

1. The development of a 'Garden Room/Studio Room' has not been justified in this application. From the map below, the proposed structure is on the designated land of a Lincoln Roman Colonia Scheduled Monument. Scheduled Monuments are designations to protect nationally important monuments and archaeological remains in England. It aims to preserve the best examples of these for the benefit of current and future generations.

Due to the structure incorporating a WC/Shower this means that extensive groundwork on and around the structure will be needed to undertake access drainage for the facilities as well as the foundation for the 'Garden Room' structure. This application does not justify any of this in a Design & Access Statement, Heritage Impact Assessment or an Archaeological Evaluation of the site to explain how the development would not permanently damage a nationally important monument and harm any potential archaeological remains. This proposal goes against Policy LP25: The Historic Environment of the Central Lincolnshire Local Plan.





2. From the previous map, the new structure is surrounded by listed buildings; these include Grade I, II\* and II buildings of historically significant. Furthermore, the site is within a Conservation Area. The new structure does not retain the historic urban grain of James Street and the surrounding areas of Eastgate, Bailgate and Minster Yard. The modern structure with its flat roof does not maintain or contribute to the character and appearance to the areas and damages the historically significant of the whole character area. Additionally, no justification for the height, massing, scale, form and materials of the structure has been stated in a Design and Access Statement or Planning Statement. Overall the proposal is unsuitable for its historic surrounding area. This proposal goes against Policy LP25, LP26 and LP29 of the Central Lincolnshire Local Plan.
3. The new structure has a WC/Shower room. This states the reason why they would need these facilities for 7 James Street when they already have accessible WC/shower room less than 20m away from the 'Garden Room'. This makes it unreasonable to think that this structure could be used in the future as an informal residential bedroom unit and not a 'Garden Room'. Finally, the structure and purpose of the building have not been justified (e.g. Design and Access Statement) in this application.
4. The application states that the structure is behind the hedge and therefore more concealed from the historical surrounding areas. This hedge has no protection status or tree protection order (TPO). Therefore, if the landowner chooses to, the hedge could be taken down without any permission from the local authority.

As demonstrated above, this proposal a single-storey garden room is against the policy in the Central Lincolnshire Local Plan and therefore against the National Planning Policy Framework. This proposal insufficient information has demonstrated that the development in principle cannot be accommodated within the site without unduly harming residential amenity and the character and appearance of the Conservation Area, due to scale, mass and design. This would be contrary to Policies LP25, LP26 and LP29 of the Central Lincolnshire Local Plan. Therefore, planning permission for application 2019/0958/HOU should be **refused**.

Thank you very much for your attention.

Yours faithfully,

Roger and Sarah Bayes  
Deloraine Court  
6 James Street  
Lincoln LN2 1QE

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<b>Application Number:</b>	2020/0144/RG3
<b>Site Address:</b>	Site Of Former St Giles Youth Centre, Swift Gardens, Lincoln
<b>Target Date:</b>	22nd April 2020
<b>Agent Name:</b>	None
<b>Applicant Name:</b>	Miss Carla Baker
<b>Proposal:</b>	Installation of play equipment with associated surfacing and refurbishments to the existing Multi Use Games Area.

### **Background - Site Location and Description**

The application proposes the installation of play equipment with associated surfacing and refurbishments to the existing Multi Use Games Area (MUGA). This proposal would see the new play area located on the footprint and curtilage of the former St Giles Youth Centre which suffered catastrophic damage following a fire.

### **Site History**

No relevant site history.

### **Case Officer Site Visit**

Undertaken on 9th March 2020.

### **Policies Referred to**

- Policy LP26 Design and Amenity
- National Planning Policy Framework

### **Issues**

To assess the proposal with regard to:

- Planning Policy
- Effect on Visual Amenity
- Effect on Residential Amenity
- Effect on Highway Safety

### **Consultations**

Consultations were carried out in accordance with the Statement of Community Involvement, adopted May 2014.

### **Statutory Consultation Responses**

All representations received on the application are copied in full at the end of this report and are also available to view on the website:

<https://development.lincoln.gov.uk/online-applications/>

Consultee	Comment
Highways & Planning	No Objections
Environmental Health	No Objections

### **Public Consultation Responses**

No responses received.

### **Consideration**

#### The Proposal

The application proposes the installation of 13 items of play equipment and 2 metal picnic benches which are as follows:-

- A - Hurricane Swing Seat
- B - Spin-A-Bounce
- C - XS Cyclone Baroc multi play unit
- D - Viking Swing
- E - Junior Comet Roundabout
- F - Nursery Rhyme multi play unit
- G - Cockerel 3 Way-Springer
- H - Viking Swing Seat
- I - Crusader Swing
- J - Buddy Board
- K - Fantasy Run Trail - Step Links and Fun Run
- L - 25M Cable Runway
- O and P - Picnic Benches

The letters correspond with the proposed site plan by Wicksteed.

A copy of the plans showing the design of each item of play equipment can be found at <https://development.lincoln.gov.uk/online-applications/>

#### Planning Policy

The National Planning Policy Framework (the framework) at chapter 8 seeks to encourage the planning system to play an important role in facilitating social interaction and creating healthy, inclusive communities.

The following design principles within Policy LP26 of the Central Lincolnshire Local Plan would be relevant to the development.

- a. Make effective and efficient use of land;
- c. Respect the existing topography, landscape character and identity, and relate well to the site and surroundings, particularly in relation to siting, height, scale, massing, form and plot widths;
- f. Incorporate and retain as far as possible existing natural and historic features such

- as hedgerows, trees, ponds, boundary walls, field patterns, buildings or structures;
- g. Incorporate appropriate landscape treatment to ensure that the development can be satisfactorily assimilated into the surrounding area;
- h. Provide well designed boundary treatments, and hard and soft landscaping that reflect the function and character of the development and its surroundings;
- i. Protect any important local views into, out of or through the site;
- j. Duly reflect or improve on the original architectural style of the local surroundings, or embrace opportunities for innovative design and new technologies which sympathetically complement or contrast with the local architectural style;
- k. Use appropriate, high quality materials which reinforce or enhance local distinctiveness, with consideration given to texture, colour, pattern and durability.
- l. Ensure public places and buildings are accessible to all: this should not be limited to physical accessibility but should also include accessibility for people with conditions such as dementia or sight impairment for example.

Policy LP26 further states that the amenities which all existing and future occupants of neighbouring land and buildings may reasonably expect to enjoy must not be unduly harmed by or as a result of development. Proposals should demonstrate, where applicable and to a degree proportionate to the proposal, how the following matters have been considered, in relation to both the construction and life of the development:

- m. Compatibility with neighbouring land uses;
- n. Overlooking;
- o. Overshadowing;
- p. Loss of light;
- t. Adequate storage, sorting and collection of household and commercial waste, including provision for increasing recyclable waste;

### Visual Amenity

In terms of design, the aim of the proposal is to create a vibrant and dynamic play space that will appeal to all age ranges. While it is appreciated that some structures themselves have a height of over 3m (namely the 3.8 metre high cyclone Baroc (item C) and the Zip Wire (item L) the location and materials of which they will be built would be appropriate. The proposed landscaping will work to integrate the play equipment into the overall setting and 'wetpour' surfacing, a standard rubberised surface commonly used in play areas

### Residential Amenity

The nearest residential properties are located over 10 metres from the site on the opposite side of the road. The interface distance and relationship between the proposed development and the existing buildings are not uncommon in urban settings such as this examples of which can be seen throughout the City. Officers are therefore satisfied that the development would have an acceptable relationship with these properties.

Overall, it is not considered the proposed new play equipment would result in any greater detrimental impact to the surrounding neighbouring properties over and above that already created by the users of the existing MUGA.

The City Council's Pollution Control Officer has confirmed that he has no observations to make regarding noise or other environmental impacts.

### Highway Safety

Lincolnshire County Council as Highway Authority has assessed the application and has raised no objections to the proposal. Therefore based on this advice it is considered that the proposal would not be detrimental to highway safety or traffic capacity

### **Application Negotiated either at Pre-Application or During Process of Application**

Yes.

### **Equality Implications**

None.

### **Conclusion**

The proposed development would offer significant improvements to a key community facility for local residents and would be appropriately located and designed as well as respecting the amenity of adjoining occupiers and the local area in accordance with Policy LP26 'Design and Amenity' of the Central Lincolnshire Local Plan and the National Planning Policy Framework.

### **Application Determined within Target Date**

Yes.

### **Recommendation**

Grant conditionally.

### **Conditions**

- Development to be carried out in accordance with the plans
- Development to commence within 3 years



## 2020/0144/RG3 – Site of Former St Giles Youth Centre, Swift Gardens

### Site Plan







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<b>Application Number:</b>	2020/0103/HOU
<b>Site Address:</b>	311 Burton Road, Lincoln, Lincolnshire
<b>Target Date:</b>	9 <sup>th</sup> April 2020
<b>Agent Name:</b>	Karaolides Szynalska Architects Ltd
<b>Applicant Name:</b>	Mr James Scott
<b>Proposal:</b>	Erection of a single storey side and rear extension, alterations to roof incorporating dormer window to accommodate loft conversion and new front gates.

### **Background - Site Location and Description**

311 Burton Road is a two storey, detached property located on the north side of Burton Road. The house is set within extensive front and rear gardens and has residential properties on either side.

Permission is sought for a single storey side and rear extension and alterations to roof incorporating dormer window to accommodate loft conversion. The applicants have also subsequently added some new gates to the driveway to the front of the property.

This application is brought before Planning Committee because the applicant is related to an employee of the City Council.

### **Site History**

Permission was granted in 2019 (2019/0899/HOU) for a single storey rear extension to be timber cladded and alteration of existing roof line to accommodate installation of dormer to rear.

### **Case Officer Site Visit**

Undertaken on 20<sup>th</sup> November 2019.

### **Policies Referred to**

- National Planning Policy Framework
- Central Lincolnshire Local Plan – Policy LP26

### **Issues**

- Visual Amenity and Design
- Impact on Neighbours
- Technical Matters

### **Consultations**

Consultations were carried out in accordance with the Statement of Community Involvement, adopted May 2014.

## **Statutory Consultation Responses**

All representations received on the application are copied in full at the end of this report and are also available to view on the website:

<https://development.lincoln.gov.uk/online-applications/simpleSearchResults.do?action=firstPage>

Consultee	Comment
Highways & Planning	No Objections

## **Public Consultation Responses**

No responses received.

## **Consideration**

### Visual Amenity and Design

Policy LP26 'Design and Amenity' of the Central Lincolnshire Local Plan (2017) is permissive of extensions to existing buildings provided the siting, height, scale, massing and form relate well to the site and surroundings, and duly reflect or improve on the original architectural style of the local surroundings; and use appropriate high quality materials, which reinforce or enhance local distinctiveness, with consideration given to texture, colour, pattern and durability. In relation to both the construction and life of the development, the amenities which all existing and future occupants of neighbouring land and buildings may reasonably expect to enjoy must not be unduly harmed by or as a result of development.

The proposed rear extension would extend the length of the property and be timber clad with grey aluminium doors and windows. The extension would allow a modest extension to the kitchen and dining area. To the side the extension would be much larger but constructed of the same materials as the proposed rear extension. The extension would provide a kitchen/living area, bedroom and bathroom.

To the front of the property it is proposed to insert 3 roof lights to allow the conversion of the roof space. The conversion would also require a dormer window to the rear of the property. This would be clad in the same timber as the ground floor extension. The dormer would accommodate an additional bedroom in the roofspace.

The proposed gates to the front of the property would be 2.15metres in height and 3.5metres in width, across the entire front of the driveway. The gate posts would be rebuilt in brick with the gate made of larch and steel. The details and materials for the gate could be secured by condition.

### Residential Amenity and Impact on Neighbours

The property has residential dwellings to the adjoining boundaries. No objections have been received from these neighbours at the time of writing this committee report.

The application property sits within an extensive plot with a large rear garden, therefore the properties to the east would be of sufficient distance that they would be unaffected by the proposal. To the north and south the properties would have glimpsed views of the single storey rear extension but would have no impact on their current level of amenity. The proposed dormer window would offer additional views towards the rear gardens of the adjacent properties. However this is relationship which already exists from existing first floor windows and would not have a detrimental impact on the amenity currently enjoyed by the neighbouring residents.

### Highways

The Highways Authority have raised no objections to the proposed extension. They have requested that the proposed new gates are set back 5metres from the highway kerbside to ensure that waiting vehicles do not overhang the highway.

### Conclusion

The extensions are of an appropriate design and would be in keeping with the scale of the host property and the adjacent neighbours. There would be no impact on the amenity of the adjacent neighbours and as such it is considered that the proposed development would be in accordance with local plan policy LP26.

### Application Determined within Target Date

Yes.

### Recommendation

Grant conditionally.

### Conditions

- Development to be carried out in accordance with the plans
- Development to commence within 3 years
- Gate distance and design

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The following drawings and representations received as part of the application are also available to view on the website:

<https://development.lincoln.gov.uk/online-applications/simpleSearchResults.do?action=firstPage>

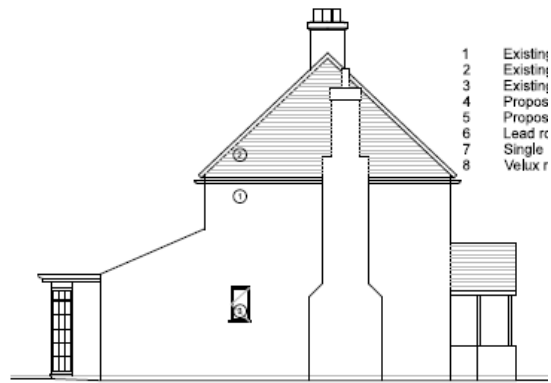
### Site Location Plan



Existing Plans



West

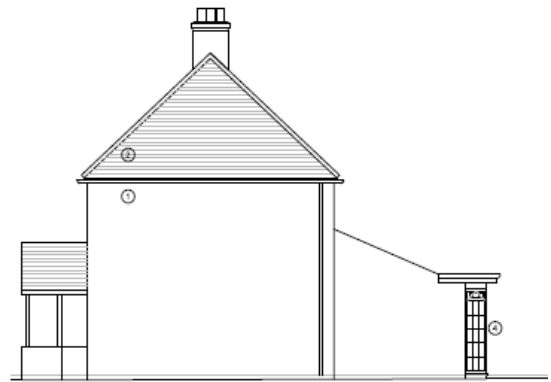


North

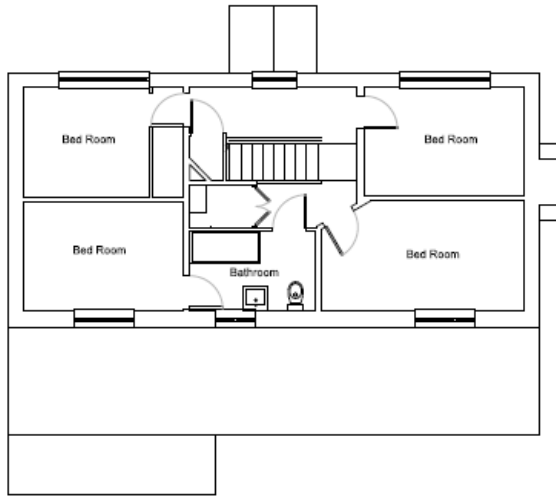
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- 5 Propos
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- 7 Single
- 8 Velux r



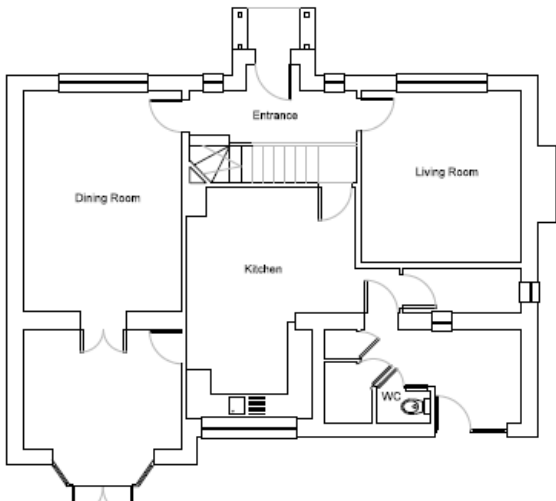
East



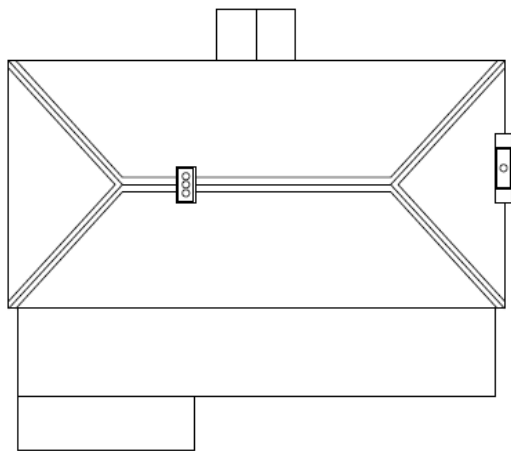
South



First Floor Plan



Ground Floor Plan



Roof Plan

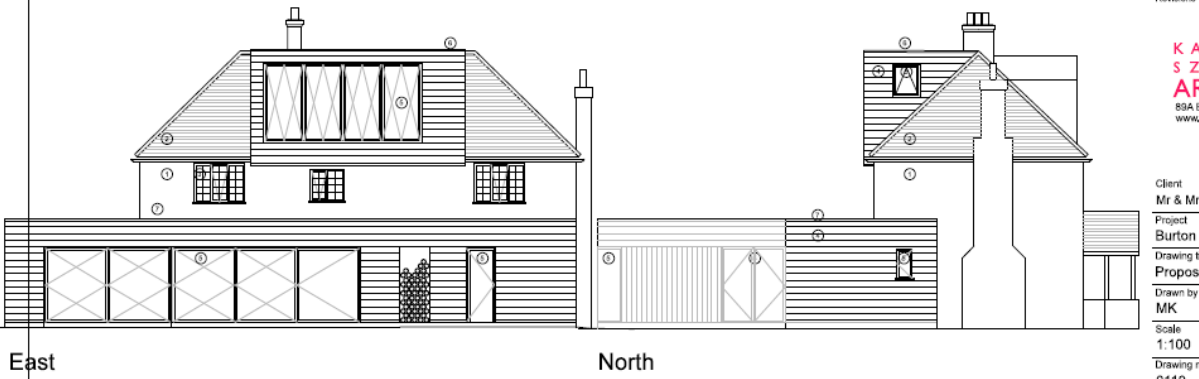
# Proposed Plans



South

West

- 3 Existing white UPVC do
- 4 Proposed timber cladding
- 5 Proposed grey aluminium
- 6 Lead roof
- 7 Single ply roof membrar
- 8 Velux roof windows



East

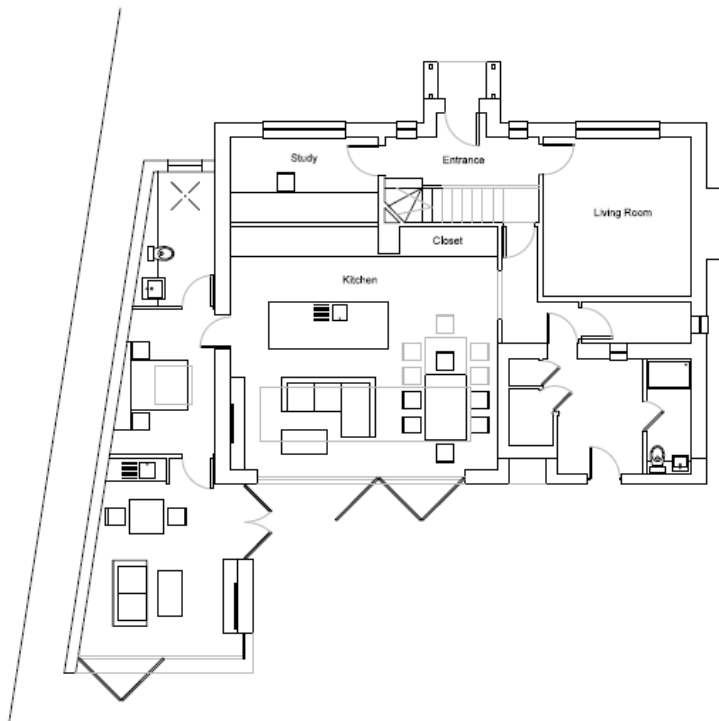
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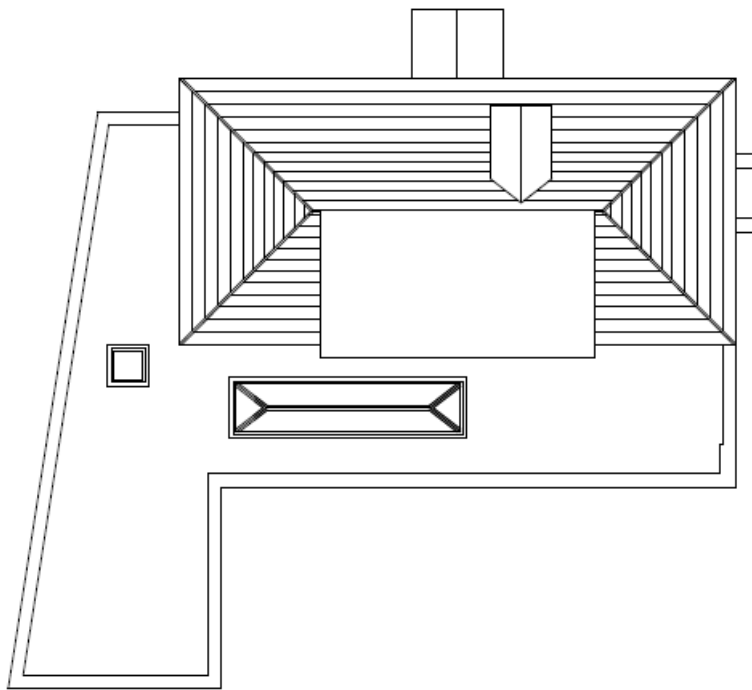
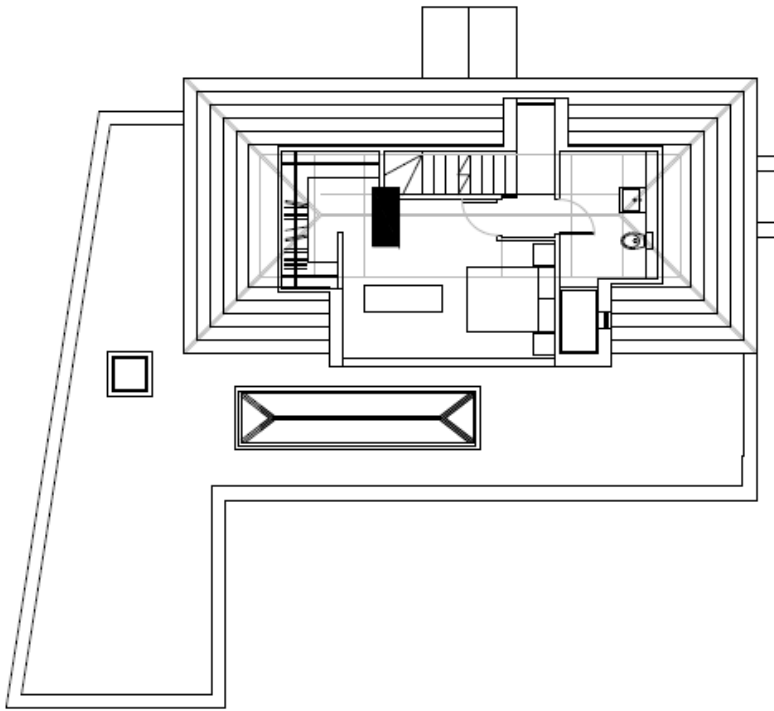
Revisions

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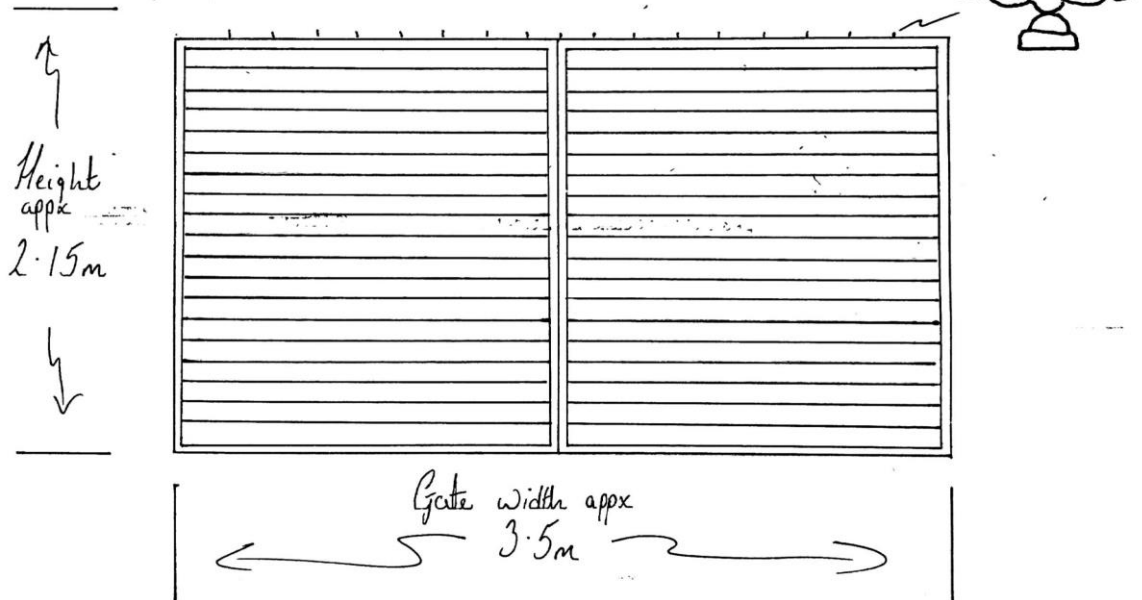
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Proposed new front gates for 311 Burton Road.



Consultee Comments

Place Directorate  
Lancaster House  
36 Orchard Street  
Lincoln LN1 1XX  
Tel: (01522) 782070



To: Lincoln City Council

Application Ref: 2020/0103/HOU

Description of development

**Erection of a single storey side and rear extension and alterations to roof incorporating dormer window to accommodate loft conversion**

Address or location

**311 Burton Road, Lincoln, Lincolnshire, LN1 3XD**

With reference to the above application received 12 February 2020

Notice is hereby given that the County Council as Local Highway and Lead Local Flood Authority:

**Does not wish to restrict the grant of permission.**

CONDITIONS (INCLUDING REASONS)

NO OBS

Having given due regard to the appropriate local and national planning policy guidance (in particular the National Planning Policy Framework), Lincolnshire County Council (as Highway Authority and Lead Local Flood Authority) has concluded that the proposed development is acceptable and accordingly, does not wish to object to this planning application.

Case Officer:

*Laura Rowett*  
for Warren Peppard  
Head of Development

Date: 27 February 2020

Site Photos







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<b>Application Number:</b>	2020/0128/HOU
<b>Site Address:</b>	15 Aldergrove Close, Lincoln, Lincolnshire
<b>Target Date:</b>	15th April 2020
<b>Agent Name:</b>	None
<b>Applicant Name:</b>	Mr King
<b>Proposal:</b>	Erection of a single storey side extension.

**Background - Site Location and Description**

The application proposes a single storey side extension to 15 Aldergrove Close. The extension would be to the side of the existing property and attached to the front of the existing garage. The property is a semi-detached bungalow.

The application is brought before Planning Committee as the applicant is an employee of the City of Lincoln Council.

**Site History**

No relevant site history.

**Case Officer Site Visit**

Undertaken on 12<sup>th</sup> March 2020.

**Policies Referred to**

- Policy LP26 - Design and Amenity
- National Planning Policy Framework

**Issues**

- Impact on Visual Amenity
- Impact on Residential Amenity
- Impact on Highway Safety

**Consultations**

Consultations were carried out in accordance with the Statement of Community Involvement, adopted May 2014.

**Statutory Consultation Responses**

Consultee	Comment
Highways & Planning	Comments Received

**Public Consultation Responses**

No responses received.

## **Consideration**

### **National and Local Planning Policy**

Paragraph 11 of the revised NPPF outlines that decisions should apply a presumption in favour of sustainable development. For decision-taking this means approving development proposals that accord with an up-to-date development plan without delay.

Policy LP26 of the Central Lincolnshire Local Plan 'Design and Amenity' is permissive of alterations to existing buildings provided the siting, height, scale, massing and form relate well to the site and surroundings, and duly reflect or improve on the original architectural style of the local surroundings; and use appropriate high quality materials, which reinforce or enhance local distinctiveness, with consideration given to texture, colour, pattern and durability. In relation to both construction and life of the development, the amenities which all existing and future occupants of neighbouring land and buildings may reasonably expect to enjoy must not be unduly harmed by or as a result of development.

### **Impact on Visual Amenity**

The extension would have a flat roof at the same height as the existing garage and would project approximately 7.3m forward of the existing garage. The front of the extension would have floor to ceiling glazed windows and a glazed entrance door. The extension would be constructed of buff brick to match that of the host property.

Whilst the extension would project forward of the existing garage, it would still be set back from the existing front elevation by over 4.5 metres. Furthermore, the property is located towards the end of a cul-de-sac and its position means public views of the extension from the wider street are limited.

It is considered the extension would sit comfortably in its context and would not appear unduly prominent when viewed from the wider area. The proposals are therefore acceptable and would reflect the original architectural style of the local surroundings in accordance with Policy LP26 of the Central Lincolnshire Local Plan.

### **Impact on Residential Amenity**

In terms of the impact on residential amenity, the extension would project slightly beyond the neighbouring front elevation to the north. The extension would be positioned on the boundary with the neighbouring property No. 17 Aldergrove Close. This neighbouring property angled towards the application site. Given this position, the extension would have a slight enclosing impact on the front window of No. 17 albeit this impact is not considered to be unduly harmful to the occupants of No. 17. Furthermore, given the existing side elevation of the property is positioned 2.7 metres from the neighbouring window, it is not considered the extension would exacerbate the current impact on the front of No. 17 in terms of loss of light or the creation an overbearing structure, particularly as the extension would have a flat roof and therefore only be 2.6 metres high. There are no windows proposed in the side of the extension, therefore privacy between the application property and No. 17 would be maintained.

It is not considered that there would be any further residential properties impacted upon by the proposal and overall the extension is acceptable in terms of its impact on residential amenity in accordance with Policy LP26 of the Central Lincolnshire Local Plan.

### Impact on Highway Safety

The extension would occupy some of the applicant's driveway therefore the Highway Authority requested a drawing showing where the applicant's parking would be. A further drawing has been submitted showing that there is enough space on the remaining driveway for 2 parking spaces. The Highway Authority have raised no objection to the application. It is therefore considered that the proposal will ensure retention of off street parking and highway safety will not be compromised by the proposal.

### **Application Negotiated either at Pre-Application or During Process of Application**

Yes - pre application advice given.

### **Financial Implications**

None.

### **Legal Implications**

None.

### **Equality Implications**

None.

### **Conclusion**

The proposed extension would not cause unacceptable harm to visual amenity, residential amenity or highway safety, in accordance with the relevant policies of the National Planning Policy Framework and Central Lincolnshire Local Plan.

### **Application Determined within Target Date**

Yes.

### **Recommendation**

That the application is granted conditionally.

### **Standard Conditions**

- 01) The development must be begun not later than the expiration of three years beginning with the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990.

- 02) With the exception of the detailed matters referred to by the conditions of this consent, the development hereby approved shall be carried out in accordance with the drawings listed within Table A below.

The works shall be carried out in accordance with the details shown on the

approved plans and in any other approved documents forming part of the application.

Reason: To ensure the development proceeds in accordance with the approved plans.

**Conditions to be discharged before commencement of works**

None.

**Conditions to be discharged before use is implemented**

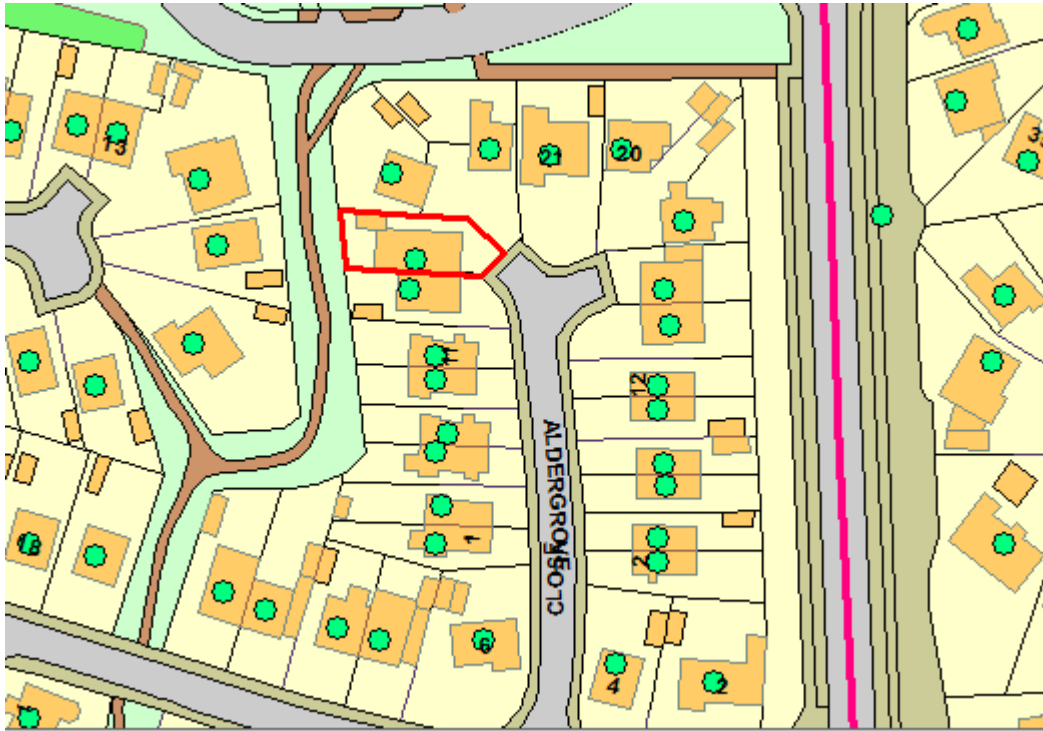
None.

**Conditions to be adhered to at all times**

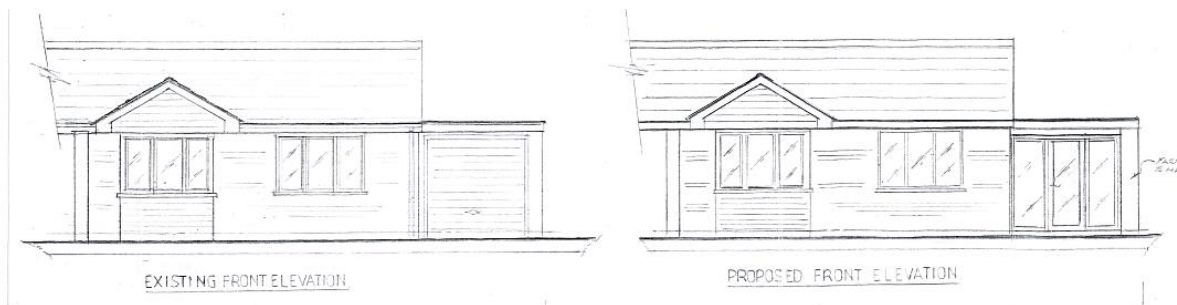
None.

**15 Aldergrove Close 2020/0128/HOU**

Drawings



Site Location Plan

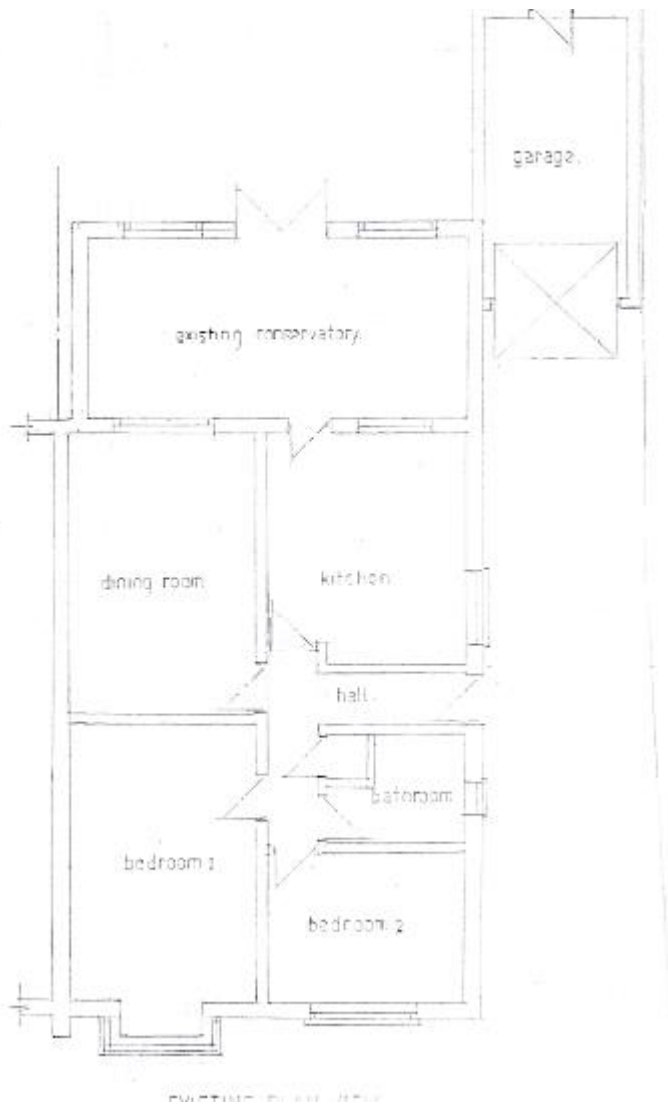


Existing and proposed front elevation



Existing and proposed side elevation





Existing Floor Plan



Site photographs





## Representations

### **Place Directorate**

Lancaster House  
36 Orchard Street  
Lincoln  
LN1 1XX  
Tel: (01522) 782070  
E-Mail: Highwayssudssupport@lincolnshire.gov.uk



To: Lincoln City Council

Application Ref: 2020/0128/HOU

With reference to this application dated 19 February 2020 relating to the following proposed development:

Address or location

**15 Aldergrove Close, Lincoln, Lincolnshire LN6 0SL**

Date application referred: 20 February 2020

Type of application: HH

Description of development

Erection of a single storey side extension.

Notice is hereby given that the County Council as Local Highway and Lead Local Flood Authority:

**Requests that the Local Planning Authority request the applicants to provide additional information as set out below.**

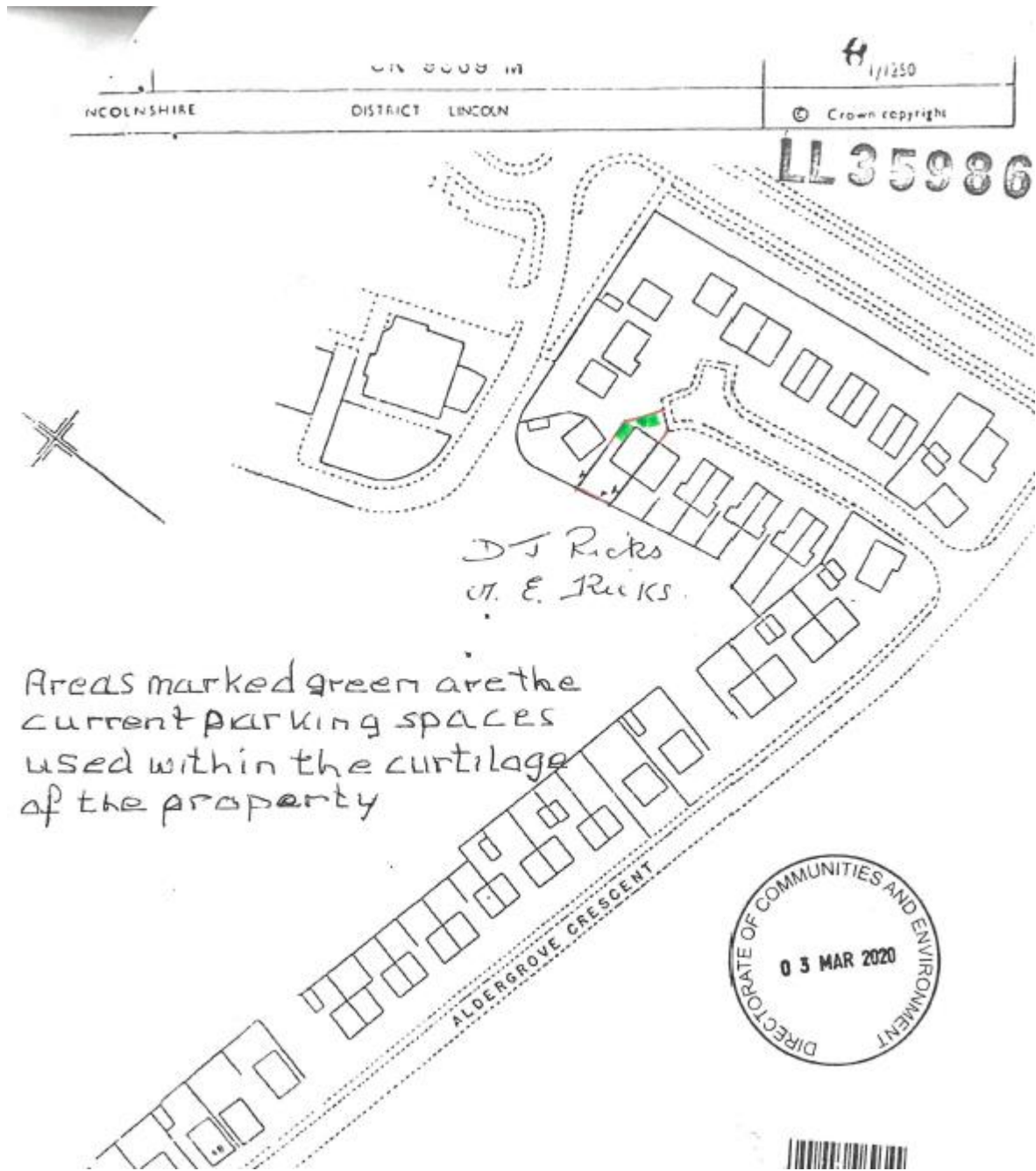
### **ADDITIONAL INFORMATION REQUIRED**

The applicant is removing their off street parking, please can the applicant demonstrate on a drawing the recommended off street parking of two spaces for up to a three bedroom property a standard parking space is 2.4m by 5m.

Case Officer:

Date: 25 January 2020

*Helen Patchett*  
for Warrren Peppard  
Head of Development



Submitted plan showing parking spaces

**Place Directorate**  
Lancaster House  
36 Orchard Street  
Lincoln LN1 1XX  
Tel: (01522) 782070



To: Lincoln City Council

Application Ref: 2020/0128/HOU

Description of development

**Erection of a single storey side extension.**

Address or location

**15 Aldergrove Close, Lincoln, Lincolnshire LN6 0SL**

With reference to the above application received 20 February 2020

Notice is hereby given that the County Council as Local Highway and Lead Local Flood Authority:

**Does not wish to restrict the grant of permission.**

NO OBS

Having given due regard to the appropriate local and national planning policy guidance (in particular the National Planning Policy Framework), Lincolnshire County Council (as Highway Authority and Lead Local Flood Authority) has concluded that the proposed development is acceptable and accordingly, does not wish to object to this planning application.

Case Officer:

*Helen Patchett*  
for Warren Peppard  
Head of Development

Date: 05 March 2020

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